 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	31 st October 2018
	REPORT OF:	HEAD OF PLANNING
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AGENDA ITEM:	5	WARD: Redhill East

APPLICATION NUMBER:		18/01637/F	VALID:	11 December 2017
APPLICANT:	Kier Construction		AGENT:	ECE Planning Ltd
LOCATION:	THE WARWICK SCHOOL, NOKE DRIVE, REDHILL			
DESCRIPTION:	Demolition of main teaching block and sports facilities. Construction of new main teaching block together with new sports hall, rationalisation of vehicle access, parking and on-site drop-off/pick-up areas; formal and informal play areas.			
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.				

SUMMARY

This application seeks full planning permission for the demolition of an existing teaching block and sports hall and the erection of a new replacement main teaching block and sport hall. In addition, the proposals include creation of new hard and soft landscaped play areas and reconfiguration of internal parking and vehicle circulation. The works would be conducted in a phased manner, to prevent the need for temporary accommodation and to minimise disruption to the curriculum.

The site is within the urban area and, like a number of schools within the Borough, is designated as Urban Open Land. However, as the facilities would be constructed largely on the footprint of existing buildings or areas of hardstanding, it is not felt that they would erode the overall openness of the site. Furthermore, the proposals would deliver a significant enhancement in the quality and functionality of the school's facilities, thus consistent with the aims and exception in Policy Pc6. National planning policy also advises that "great weight" should be given to the need to alter and improve schools within planning decisions.

The buildings would consist of two blocks, part two, part three storeys, linked by a glazed first floor walkway. Whilst they would be relatively large, scale and massing is not considered to be harmful given the siting of the buildings and changing levels which means they would not appear unduly dominant within surrounding street scenes. The contemporary form, appearance and materiality is not felt to be objectionable given there is a reasonable degree of variety in the surrounding area and the buildings would not be widely visible from surrounding public vantage points. The proposals would result in the

school buildings being laid out around a loose cluster of more generous outdoor communal space, the landscaping of which would add to the overall quality of the school environment.

An assessment has been undertaken of the impact of the proposals on neighbours. Given the difference in levels, separation distances and the height and scale of the building, it is concluded that the teaching block would not give rise to unacceptable impacts on the amenity of the adjoining apartments at St Anne's Rise. In respect of the Sports Hall building, it is acknowledged that this would introduce built form on a part of the site which is presently given over to hardstanding and – in this regard – would represent a notable change for properties on Wordsworth Mead. However, the main bulk of the building would be in excess of 20m from the rear garden boundaries of these neighbours and, at this distance, it is not felt that it would be unduly overbearing. The building is considered to pass the established 25 and 45 degree rules in relation to neighbours on Wordsworth Mead and whilst there may be some shading effects on the rear gardens (or rear conservatories) of these properties, this would be limited to the winter months. Consideration has been given to the impact of the use of the Sports Hall in terms of noise and disturbance; however, it is considered that levels of break out noise would be sufficient low so as to not cause unacceptable disturbance. A condition limiting hours of use in acknowledgement of the fact that large groups/events leaving the hall in late hours may cause disturbance to neighbours is considered reasonable. Taking all of the considerations and conclusions into account, the proposals are not therefore considered to give rise to serious detriment to the amenities and living conditions of neighbouring properties.

There is no objection to the proposals from the County Highway Authority and the reconfiguration of the car parking area would give rise to a modest increase in formal designated car parking. There is also considered to be ample space within the re-organised layout to accommodate significant additional parking of the sort which may arise during a large event at the school. Additional cycle parking is proposed and a condition requiring a new Travel Plan is also recommended to encourage sustainable travel.

Impacts on trees and ecology are considered to be acceptable subject to appropriate management and mitigation measures which are contained within the recommended conditions. All proposed buildings would be within Flood Zone 1 and sustainable drainage measures would be secured by condition.

RECOMMENDATION(S)

Subject to the completion of all documentation required to create a planning obligation under Section 106 of the Town and Country Planning Act 1990 (as amended) to secure:

- (i) A contribution of £6,150 towards Travel Plan monitoring
- (ii) The Council's legal costs in preparing the agreement

Planning permission is **GRANTED** subject to conditions.

In the event that a satisfactorily completed obligation is not received by 31 December 2018 or such longer period as may be agreed, the Head of Places and Planning be authorised to refuse permission for the following reason:

The proposal fails to make adequate provision for the monitoring of sustainable travel measures and local parking demand and therefore could give rise to a situation prejudicial to highway safety or which would fail to promote sustainable travel, contrary to policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and Policy CS17 of the Reigate and Banstead Core Strategy 2014.

Consultations:

County Highway Authority: No objection subject to conditions and a financial contribution to Travel Plan monitoring

Natural England: No comments

Tree Officer: No objection subject to conditions

Environment Agency: No objection subject to conditions in respect of groundwater/protection of Controlled Waters

Surrey Wildlife Trust: Recommends that the applicant should be required to undertake all recommended actions in Ecological Impact Assessment Report (EclA) and associated Method Statement. Recommends opportunities to restore or enhance biodiversity are secured as advised in Section 10 of the EclA Report. Advises that the school undertakes an ecological management regime for the woodland and pond elsewhere on the site.

Surrey CC Sustainable Drainage Consenting Team: Satisfied that the drainage scheme meets policy, practice guidance and relevant Technical Standards. No objection subject to conditions.

Gatwick Airport: No objection subject to securing submission of a Bird Hazard Management Plan.

Contaminated Land Officer: No objection subject to conditions

UK Power Networks: No objections

Representations:

Letters were sent to neighbouring properties on 07th August 2018; a site notice was posted 9th August 2018 and the application was advertised in local press on 16th August 2018. Further letters were sent to neighbouring properties on 10th October regarding additional information submitted by the applicant.

27 responses have been received raising the following main issues as set out below.

Issue	Response
Overshadowing/loss of daylight and sunlight	See paragraphs 6.16-6.18 and condition 9
Overlooking and loss of privacy	See paragraphs 6.19
Overbearing relationship	See paragraphs 6.16-6.18 and condition 9
Loss of outlook/visual amenity	See paragraphs 6.16-6.18
Noise and other disturbance (including light)	See paragraphs 6.20-6.23 and conditions 4, 11, 16, 17 and 21
Poor design	See paragraphs 6.9-6.13

Overdevelopment	See paragraphs 6.9-6.13
Out of character with the surrounding area	See paragraphs 6.9-6.13
Inconvenience during construction	See paragraph 6.22 and condition 4
Inadequate parking	See paragraphs 6.27-6.29 and condition 13, 22 and 23
Crime fears	See paragraphs 6.64
Health fears	See paragraphs 6.64
Loss of/harm to trees	See paragraphs 6.39-6.42 and condition 3
Harm to wildlife habitat	See paragraph 6.43 and conditions 10 and 14
No need for the development	See paragraph 6.7
Alternative location/proposal preferred	Application on its own merits, applicant has provided an appraisal of the options considered and discounted within their Design & Access Statement
Loss of private view	This is not a material planning consideration
Property devaluation	This is not a material planning consideration

Concerns were raised regarding insufficient information/inaccuracy of the submitted plans. These issues have been reviewed by Officers who are satisfied that the information submitted is adequate to allow a full and proper assessment and consideration of the application. A site visit has been undertaken and the report below reflects the Officers assessment taking account of the information and plans submitted and the Officers own observations on site.

1.0 Site and Character Appraisal

- 1.1 The site consists of the existing The Warwick secondary school which is set within extensive grounds including playing fields and sports facilities. The site is within the built up area of Redhill, to the west of Redhill Town Centre.
- 1.2 The existing main school buildings are a mixture of single storey and two storey structures, largely concentrated in the south-west corner of the site. The buildings are of varied size, configuration and appearance, reflecting the ad hoc nature in which the school has evolved and expanded over the years. In the north-west corner of the site, are existing outdoor sports facilities, including tennis courts, a hard surface play area and an artificial multi-sports pitch. The eastern half of the site is broadly given over to grass playing pitches, with an area of woodland in the southern-east corner of the wider school which is presently used as an ecological area by the school, although this is outside of the red line of the current application. There is a significant change in levels across the site, particularly along the western boundary where the land rises significantly towards the neighbouring flats on St Anne's Rise.

- 1.3 The Redhill Brook runs through the southern part of the wider school site; however, it is outside of the red line of the current application. Part of the school site and application site is within Flood Zones 2 and 3 as a result, albeit no development is proposed outside of Flood Zone 1 in this application.
- 1.4 The school is in a predominantly residential environment, albeit it is bounded on its eastern side by the railway line. To the north, the site adjoins Wordsworth Mead, a mixed housing estate, with a number of properties on the estate backing or side on to the application site. To the west is a public footpath, beyond which is St Anne's Rise which consists of a number of three and four storey apartment blocks; these properties are situated at a higher land level. There are a number of trees along the western boundary, a significant proportion of which are subject to preservation orders. To the south, beyond the wooded area within the school site, are further residential properties, including 45 and 47 Cavendish Road which are Grade II listed.
- 1.5 As a whole, the application site extends to approximately 4.4ha.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice relating to the provision of new replacement teaching space and sports hall was sought in 2017. No in principle objection was raised, although advice was given as to the need to consider the design, appearance and impact on neighbour amenity.
- 2.2 Improvements secured during the course of the application: The following were secured during the course of the application:
 - Supplemental information regarding parking provision and strategy and noise impacts (including "break out" from the Sports Hall was sought and supplied)
 - Additional tree planting along the northern boundary
- 2.3 Further improvements to be secured through planning conditions or legal agreement: Various conditions are recommended including regarding materials (specifically to switch the proposed cladding colour on the buildings), implementation of landscaping and parking, construction management, tree protection and ecological mitigation.

3.0 Relevant Planning and Enforcement History

- 3.1 There is various planning history associated with the expansion and operation of The Warwick School, with most applications determined by SCC as the Local Planning Authority.

4.0 Proposal and Design Approach

- 4.1 The proposed development seeks full planning permission to demolish the existing main teaching block and sports facilities and erect a new teaching block together with a new sports hall. The works would also include changes to the layout of the

site, including vehicle access, parking areas and play areas. The works would be carried out in a phased manner to enable continued operation of the School.

- 4.2 The scheme comprises two blocks, linked together via a bridge/raised walkway at first floor level.
- 4.3 The teaching block, which would be the larger of the two, would be located in the western part of the site. The building would be in a broadly similar position to the existing sports hall, gym and two storey changing block. It would have a more compact, rationalised rectangular footprint than the existing teaching block. The teaching block would be a flat roofed, part two storey building along the western edge of the site but, due to the change in levels, would rise to three storeys within the site. It would accommodate the main school hall, along with a variety of teaching spaces and ancillary rooms.
- 4.4 The new Sports Hall would be sited on a north-south orientation, between the existing raised tennis courts and artificial pitch. It would be broadly comparable in scale to a three storey building, with a small single storey element. It would comprise a full height sports hall with changing and ancillary facilities at ground floor together with some teaching accommodation and support rooms (e.g. staff room) in partial first floor at the southern end of the building.
- 4.5 Both buildings would have a contemporary design and appearance, employing brick to the ground floor and vertical cladding to upper floors.
- 4.6 Within the wider site, the existing teaching block and sports hall would be demolished. The area currently occupied by the teaching block would, for the most part, be reconfigured to provide new outdoor space (combination of hard and soft landscaped) for pupils and a small, 9 space, visitor car park. The existing main car park to the front (south) of the site would be reconfigured and extended to provide 64 spaces (total 73).
- 4.7 The works are proposed to be carried out in a phased manner as follows:
 - Phase 1 – site set up, construction of new sports hall
 - Phase 2 – demolition of sports hall and partial demolition of teaching accommodation, construction of new teaching block
 - Phase 3 – demolition of remaining part of teaching block, completion of hard and soft landscaping and car parking works
- 4.8 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.9 Evidence of the applicant's design approach is set out below:

Assessment	<p>The school site, of approximately 4.4 hectares, is located in a heavily residential area with Redhill town centre to the west, and a former landfill site to the East. The site also resides adjacent to a railway line, which serves Redhill Station. The School is made up of a cluster of five teaching blocks, of largely mixed specialism constructed between the 1960s-2000s, largely in the south-western corner of the site. Residential properties of four storeys are to the West of the site in St Anne's Rise, with two storey properties in Wordsworth Mead. The school buildings occupy the southwestern corner of the site, with adjacent playing fields to the eastern and northern areas. The topography surrounding the site includes a high ground to the northwest, sloping down from this area to the southeast towards a wet habitat area that the school have labelled as an ecological area. The site is located in the catchment of the Redhill Brook, an EA designated Main River and tributary of the River Mole. The site is bordered by scattered trees, ornamental planting, scrub and amenity grassland. To the south of the site there is an area of broadleaved woodland containing a large pond. The main access point site via Noke Drive, for both pedestrians and vehicles is located in the south. There is an additional locked pedestrian access point from the northwest of the site via St Anne's Drive. The school and local authority have confirmed the total PAN, which was increased in September 2017, to be 1050 pupils. The existing school's maximum capacity however, is 1125. The proposed project will be based on the current PAN of 1050 pupils, with no expected increase to pupil numbers.</p> <p>Three existing school blocks (EFAB, EFAC, EFAD) will remain, creating a cluster of blocks centralised around soft and hard landscaping. All existing outdoor sporting provision (including MUGA, tennis courts and playing field) will be retained.</p>
Involvement	<p>The Planning Statement and Statement of Community Involvement identifies that pre-application advice was undertaken and that a public consultation event held in the school in November. Feedback is summarised as being largely positive with the main issues being traffic, parking and issues of privacy/impact on residential amenity.</p>
Evaluation	<p>The Design Statement explains and discusses a number of options, building typologies and different layout configurations which were considered through the design process. The Design Statement and Planning Statement explain that the accommodation layout and size for the proposed buildings on site has been greatly influenced by site and environmental constraints (including protecting existing playing areas and flooding risk), together with the need for the existing school to</p>

	be operational throughout the construction phases. The building locations need to enable the project to be safely constructed adjacent to an occupied school.
Design	The proposed location [of the buildings] was identified as the most feasible and least disruptive during construction and ultimately provided the most suitable long term for educational delivery for the school. The scheme has been design to reflect and utilise the sites existing levels and topography and minimise the requirement for 'cut & fill'. Building FFL have been set to reflect existing ground levels. A key priority of the design strategy for the new teaching blocks is to clearly organise space that facilitates the provision of the curriculum in accordance with the Authority's requirements and school specific brief and to provide for the needs of the pupils, staff and other users. The intention with the facade approach is to provide an inspirational building of which the school and local community can feel proud of and that significantly improves the local visual amenity. The choice of materials has been generated through consideration of their suitability for the local climate, conditions and anticipated use, including the need for robustness.

4.10 Further details of the development are as follows:

Site area	4.4ha
Existing use	Secondary School (Use Class D1)
Proposed use	Secondary School (Use Class D1)
Proposed floorspace	5,246m ²
Existing parking	64 spaces (marked), space for 34 unmarked
Proposed parking	73 spaces (marked), space for 30 unmarked (see Landscape Planning Statement dated 16 July 2018)
Parking standard	BLP 2005 - individual assessment – BLP states that <i>"only operational requirements should be provided for...Pupil parking and drop off/pick up"</i>
Pupil numbers	Current PAN of 1,050; no proposal to increase

5.0 Policy Context

5.1 Designation

Urban Open Land

Flood Zone 2/3 (part of site – south-east corner) [Note: no new buildings or development is proposed in FZ2/3 through this application]

5.2 Reigate and Banstead Core Strategy

CS1(Presumption in favour of sustainable development)
CS4 (Valued townscapes and historic environment)
CS5 (Valued people/economic development),
CS8 (Area 2a (Redhill))
CS10 (Sustainable development),
CS11 (Sustainable construction),
CS12 (Infrastructure delivery)
CS17 (Travel options and accessibility)

5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc2C, Pc2G, Pc4, Pc6
Community Facilities	Cf1, Cf2
Recreation	Re11
Movement	Mo4, Mo5, Mo6, Mo7, Mo13
Utilities	Ut4

5.4 Other Material Considerations

National Planning Policy Framework	
National Planning Practice Guidance	
Supplementary Planning Guidance	Local Distinctiveness Design Guide Developer Contributions SPD Surrey Design
Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010 (as amended) Conservation of Habitats and Species Regulations 2010

6.0 **Assessment**

6.1 The application site comprises an existing secondary school within the urban area to the west of Redhill town centre. The site, like many schools in the borough, is designated as Urban Open Land and the southern part of the site is within the Flood Zone 2/3 according to EA Flood Maps. The proposals seek permission to demolish a number of the existing school buildings and the erection of a new main teaching block and Sports Hall with associated internal reconfiguration and re-landscaping of the site.

6.2 The main issues to consider are therefore:

- development on Urban Open Land
- design and impact on the character of the area
- effects on the amenity of neighbouring properties
- access, parking and highway implications
- other matters

Development on Urban Open Land

- 6.4 As above, the Warwick School site – as is common with many school sites in the borough – is designated as Urban Open Land.
- 6.5 Policy Pc6 – which generally seeks to control development on, and resist the loss of, Urban Open Land – is therefore applicable. Policy Pc6 does however allow for proposals for ancillary buildings or for the extension or replacement of existing buildings subject to consideration of the relevant design policies, the contribution made by the UOL to the character of the area and to the functioning of any essential social, community or educational use. The proposals in this case are considered to fall within the scope of this since they are a replacement of existing educational facilities.
- 6.6 The site is, for the most part, already largely built up either with the footprint of the school buildings or associated hardstanding and ancillary structures. The siting of the proposed buildings would preserve the vast majority of the current open parts of the site (particularly the playing fields and woodland area to the east). Furthermore, the two proposed buildings combined would occupy a lesser footprint on the site than those which they would replace, with additional areas given over to open outdoor and soft landscaping within the site. Taken in the round, it is therefore considered that the proposals by virtue of the rationalised footprint and siting of the buildings would support the openness of the site and its designation as Urban Open Land rather than detriment it. In coming to this view, it is acknowledged that elements of the site which are proposed for development are visible from public vantage points (e.g. the area proposed for the Sports Hall can be glimpsed from Wordsworth Mead); however, these parts of the site are urbanised in character (given over to hardstanding and surrounded by hard engineering or tall fences) and as a result are not considered to contribute positively to the character of these areas.
- 6.7 The exception in Policy Pc6 also advises that consideration should be given to the functioning of any social, community or educational use. In this case it is agreed that, as described in the Planning Statement, the proposals would support a significant improvement and investment in educational facilities on the site, providing a learning environment suited to modern teaching and curriculum. The fact that the school has secured ESFA funding to replace existing buildings suggests the current accommodation is qualitatively sub-standard. In this respect, the proposals would support the strategic objectives of the Core Strategy, notably SO13 which sets out the Council's aim to "*secure in appropriate locations, adequate land, community services and infrastructure to support business and community needs*" and would also find favour in Policy CS12 of the Core Strategy. In accordance with national policy (NPPF para 94), the need to – and benefits from – altering and improving the school to meet education requirements is afforded "*great weight*".
- 6.8 Overall, it is therefore concluded that the proposals would be consistent with the provisions and aims of Urban Open Land policy and would not therefore conflict with Policy Pc6 of the 2005 Borough Local Plan.

Design and impact on the character of the area

- 6.9 The proposal comprises two blocks linked by a first floor glazed walkway/bridge.
- 6.10 The teaching block would be a part two storey, part three storey building, reflecting the change in levels within the site. From external vantage points on St Anne's Rise, it would appear as a two storey building, not dissimilar in height to the existing buildings and would be in keeping with the scale of buildings in the locality, particularly mindful of 3 to 4 storey flatted blocks which it would be glimpsed in the backdrop to.
- 6.11 The Sports Hall building would be, in effect, a three storey building (10m from ground to parapet) with a smaller single storey element on its northern end. Whilst it would be of larger scale and massing than the residential properties on the adjoining Wordsworth Mead, it would be set back sufficiently from the public realm and orientated such that it would appear as an unduly dominant feature within the character of the area or street scene. Its height would be in keeping with other buildings within the wider school estate (and not dissimilar to the Sports Hall it would replace) and thus would not be incongruous in this respect. Additional landscaping proposed along the northern boundary would help to screen and soften views of it from public vantage points.
- 6.12 The proposals would be laid out such that the main teaching buildings of the school (either new or retained) would be laid out in a loose cluster around a more generous central area of outdoor communal space. The applicant also argues that the buildings have been laid out to avoid "dead" spaces which might encourage anti-social behaviour within the school grounds, an approach which is supported. The central outdoor areas would be re-landscaped as part of the proposals with a mixture of hard and soft landscaping, with features such as stepped gabion walls used to both manage the variation in levels across the site but also add interest to the public realm of the school. As discussed above, overall it is considered that the layout of the school following the works would have a greater sense of openness than is presently the case.
- 6.13 Both the teaching block and Sports Hall buildings would have a flat roofed form, not dissimilar to many of the existing school buildings which they would replace. Whilst the buildings would have a relatively contemporary appearance, owing to both their boxy form, fenestration and materials selection, this is not in itself objectionable, particularly mindful of the Framework which advises against preventing or discouraging appropriate innovation. The buildings themselves are considered to be well-designed relative to their use and function, with ordered, coherent elevations and features such as the large glazed two storey entrance serving the dining hall/library on the main teaching block, deep contrasting colour window reveals and the glazed link elevating the design above the ordinary. The materials palette, whilst differing from the brick and render which is typical of the surrounding residential development, is a key part of this design ethos and there is sufficient variety in the surrounding area (including for example Park 25) such that it would not appear unduly alien, particularly given views of the buildings would be limited to a small

number of public vantage points. Overall, it is considered that they would add positively to the environment, identity and sense of place of the school.

- 6.14 Taking all of the above into account, it is considered that the proposed buildings and layout represent good design which would both improve the school environment and fit comfortably with the character of the wider area. Consequently, the proposals are considered to comply with policy Cf2 and Re2 of the Local Plan 2005, Policy CS4 and CS11 of the Core Strategy and the provisions of the NPPF.

Effects on the amenity of neighbouring properties

- 6.15 The impact of the proposals on neighbouring properties has been carefully assessed, with particular regard to neighbours on St Anne's Rise and Wordsworth Mead who are most closely affected by the proposals.
- 6.16 The proposed teaching block would be sited close to the western boundary of the site with St Anne's Rise which comprises a number of blocks of 3-4 storey flats. The block would be two storeys along its western flank and would be comparable in height to the existing two storey building which it would in part replace. Given this, and taking account of both the separation distance to the adjoining blocks of flats and fact that the land levels along the western boundary are approximately 3m above the proposed floor level of the building, it is considered that the buildings would not be unduly overbearing or dominant on these neighbours, nor cause unacceptable loss of light.
- 6.17 The Sports Hall would be situated on the northern part of the site, between the existing elevated tennis courts and the artificial playing pitch and, given its function, would be a relatively tall building – just over 10m to the flat roof, with a lower single storey element (c.3m high) on its northern end. Whilst it is acknowledged that the introduction of the Sports Hall in this location would represent a change for neighbouring properties, particularly to those to the north of the school on Wordsworth Mead, it is – on balance – not considered that it would cause harmful detriment to their amenities so as to be contrary to policy and warrant refusal. The two storey element of the proposed Sports Hall building would be approximately 24m from the rear/side boundaries of the residential properties to the north on Wordsworth Mead, with the smaller single storey element approximately 20m from the boundaries. At this distance, even acknowledging the scale of the building, it is not considered that it would be unduly dominant, overbearing or seriously detrimental to outlook, even when taken in combination with existing structures on this northern part of the site. During the course of the application, additional tree planting has also been secured along this northern boundary which would supplement the existing planting and help to dapple views of the building and soften the interface to the neighbouring properties (albeit the conclusion that it would not be overbearing or harm outlook is not reliant on this planting). The same conclusion is reached in respect of the perpendicular terrace at no.34-40.
- 6.18 In terms of overshadowing, it is acknowledged that the proposed building would be positioned due south of the neighbours on Wordsworth Mead. The applicant has supplied an indicative section which illustrates on the plan the shading effects at mid-day on the summer and winter solstices (i.e. 21st June and 21st December).

This demonstrates that, whilst the building would give rise to some shading of the rear garden of properties on Wordsworth Mead, this effect would be mostly in the winter months with little, if any, impact in the summer months (as demonstrated by the summer solstice shading point). Furthermore, the plans also demonstrate that – in relation to those properties which back onto the site, the proposed building would not infringe the 25 degree rule taken from the rear windows of these properties. It is appreciated that some concerns have been raised in representations regarding the accuracy of these plans (including for example the fact that they omit rear conservatories and the like from neighbouring properties). However, having carefully reviewed the full suite of plans and the Council's own mapping, I am satisfied that the plans are sound and representative of the relationships and effect which would arise as a result of the proposals. On the specific point of the omission of rear conservatories on the applicant's plans, I have nonetheless considered the effect that the proposals would have on these additions and conclude that the 25 degree rule would still be passed and, whilst there would be some limited shading effect in winter months, this would not be unduly harmful to amenities, particularly given such additions are highly glazed and not reliant on a single window for light source. Consideration has also been given to the impact on the terrace of properties at no.34-40 Wordsworth Mead (which run perpendicular to the northern boundary with the school); however, given the juxtaposition and separation between these neighbours and the Sports Hall building, it is considered that there would not be an unacceptable overshadowing impact on these neighbours: whilst the Sports Hall may infringe the 45 degree rule in the horizontal plane when taken from the rear windows on the nearest of the properties in the terrace (no.45) this would be at some considerable distance and, furthermore, it would pass in the vertical plane such that any loss of light to rear windows would not be so harmful to warrant refusal.

- 6.19 No windows are proposed in the northern end of the Sports Hall and the windows in the side elevations would be towards the southern end of the building. Given the distances involved to neighbouring properties, any views would be very long range and sufficiently oblique such that they would not give rise to a harmful loss of privacy. The same conclusion applies to the glazed link between the teaching block and Sports Hall given the separation distances. The teaching block would have a number of windows in its western elevation which would look towards the adjoining flats on St Anne's Rise. However, given the differences in levels, intervening footpath, boundary treatments and tree cover, it is not considered that these windows would give rise to unacceptable loss of privacy for these neighbours. In coming to this view, it is also acknowledged that the distance between the teaching block windows and properties on St Anne's Rise would be approximately 30m at the closest point.
- 6.20 Consideration has also been given to noise and disturbance impacts which is another concern identified in representations from neighbouring properties. With regard to the main teaching block building, it is concluded that the likely nature and profile of noise arising would not be materially different from the existing school buildings on this part of the site. Whilst it is appreciated that this building would include a hall which could be used for congregations of pupils or events, this would be at lower ground floor level, with other conventional classroom spaces above. Any noise breakout from the hall is therefore likely to be limited and not sufficient to give

rise to a harmful effect on the flats on St Anne's Rise, particularly given the separation distances involved.

- 6.21 An Acoustic Assessment and Noise Assessment were submitted and the latter was updated during the course of the application to include any assessment of potential noise break out from the use of the Sports Hall building. This updated Assessment identifies that, based on the construction specification proposed; noise break out from the Sports Hall would be 26.1 dBA (Lfmax) at the rear gardens of properties on Wordsworth Mead, significantly below recommended British Standard levels of 50-55 dBA. The applicant explains that the Sports Hall has to be constructed to high acoustic performance standards by the Department for Education due to its proposed ancillary use as an exam hall. Furthermore, the Noise Assessment confirms that doors would not be required to be opened to provide ventilation and a condition ensuring that the building is constructed and operate in accordance with this commitment is recommended. Taking this into account, it is not considered that the use of the Sports Hall would give rise to a harmful increase in noise and disturbance for neighbouring properties on Wordsworth Drive. In coming to this view, account has also been taken of the fact that – in its current form – the location of the proposed Sports Hall is presently an area of open hardstanding which is used for outdoor play and recreation which would in itself give rise to a level of unabated noise. Concerns have been raised regarding potential evening use of the Sports Hall; it is acknowledged that – in its current form – the area on which the Sports Hall is located is unlikely to be used in evenings or later at night and thus the proposal could change the timing of noise, not only in terms of use but also in general activity as visitors leave. The adjoining sports courts are subject to a condition limiting hours of use and it is considered reasonable in this case to limit use of the Sports Hall to no later than 10pm Mondays to Saturdays, and no later than 6pm on Sundays. This would strike a balance between allowing for the appropriate use of the Sports Hall (including dual use anticipated by Policy Re11) whilst also preserving neighbour amenities.
- 6.22 A number of representations received identify concerns regarding inconvenience during the construction process. Whilst it is appreciated that some disturbance might arise during the construction process, this would by its nature be a temporary impact. Other environmental and statutory nuisance legislation exists to protect neighbours and the public should any particular issues arise. A condition requiring a Construction Transport Management Plan will assist in ensuring impacts of movements; parking and transport activity associated with the development are considered.
- 6.23 In respect of light pollution, the application was supported by an External Lighting Report which identifies the broad principles which would be used to govern external lighting installations around the site. This includes a plan which identifies that, for those external areas close to residential neighbours, external lighting would be of relatively low illuminance (5 lux) and would thus be unlikely to cause material harm or disturbance to neighbour amenities. A condition requiring a detailed lighting specification and scheme – in broad compliance with the principles in the External Lighting Report – to be submitted for approval is however considered prudent to ensure that this is satisfied. There would be limited fenestration in the Sports Hall towards the northern end of the building (i.e. close to Wordsworth Mead

neighbours) and as such light spill from inside the building is not considered to be an issue.

- 6.24 Overall, it is concluded that whilst the proposals would result in a change in relationship to neighbouring properties, particularly those on Wordsworth Mead, on balance the development would not give rise to serious adverse impacts on neighbour amenity and therefore complies with policies Cf2 and Cf3 the Borough Local Plan 2005.

Accessibility, parking and highway implications

- 6.25 The application incorporates alterations and reconfiguration of the car parking and internal circulation within the site; however, the main vehicular and pedestrian access points would be unchanged.
- 6.26 The school currently has 873 pupils on roll and is therefore operating below its published capacity of 1,050 pupils (PAN of 210 specified by Surrey County Council – note there is no planning restriction on pupil numbers) which it anticipates to reach by 2021. The school could therefore operate at a higher capacity than it presently does even in absence of this current application (indeed the current application does not increase the overall floorspace of the school and the national School Capacity Survey 2016/2017 indicates that The Warwick has physical capacity for 1,125 pupils in the existing buildings). Nonetheless, the application was supported by a Transport Assessment which considers the implications of the school operating at 1,050.
- 6.27 In terms of car parking, at present the site has a total of 65 formal designated car parking spaces which consists of a main car park at the entrance to the site from Noke Drive for 41 spaces, and a number of other marked out parking areas fragmented across the site providing a further 24 spaces. The current application would increase provision to 73 spaces and would consolidate the majority of the parking into a single larger main car park at the entrance to the site for 65 spaces, with a further 8 disability compliant spaces provided closer to the new main teaching block. The Transport Assessment notes that it anticipates that the number of staff would potentially increase by 10 if the school were operating at its full published PAN; hence, the increased parking provision is welcomed. The County Highway Authority has reviewed the submission and confirms that they have no objection to the proposed level of parking, particularly noting that there are extensive parking restrictions in the surrounding area which would prevent displacement parking on nearby roads or in unsafe locations.
- 6.28 In addition to formal designated car parking, it is acknowledged and observed from the site visit that the school, in its current layout and configuration, has areas where parking can be made available on an “ad hoc” basis to cope with increased demand (e.g. during school events). The applicant has confirmed that they consider that such capacity would remain within the proposals through a combination of parking on hardstanding/playground areas, reinforced amenity grass areas, spaces “freed up” by staff not required for the event and additional provision on the playing fields (c.100 spaces) if required. Having reviewed this, I agree that sufficient space would remain within the reconfigured layout to manage temporary “surge” demand in

parking associated with a large event such that it would not prejudice highway safety or operation.

- 6.29 The school is considered to be in a highly accessible location, close to bus and rail services in Redhill Town Centre. Hence, in principle, it is well situated to encourage modal shift towards more sustainable travel modes, both for staff and pupils. The application includes provision to significantly increase on-site cycle parking (from a current capacity of 65 bicycles to 115) in order to meet the latest standards. The provision of such an enhancement in cycle storage infrastructure is welcomed and meets with the overall thrust of policy CS17 of the Core Strategy. Furthermore, the application was supported by a draft School Travel Plan which begins to set out the measures to promote sustainable travel to school by both staff and pupils; a condition requiring a final Travel Plan following the County Council's favoured Modeshift STARS model is recommended prior to occupation.
- 6.30 Taking all of the above into account, include the expert advice of the CHA following their detailed review of the application, it is considered that the scheme complies with policies Mo4, Mo5, Mo6 and Mo7 of the Local Plan and Policy CS17 of the Core Strategy.

Flooding and drainage

- 6.31 The application site, which covers part of the Warwick School grounds, is predominantly in Flood Zone 1; however, part of the southern part of the site is within Flood Zone 2 according to EA Flood Maps.
- 6.32 All of the new buildings (teaching block and Sports Hall) proposed in the application would be within Flood Zone 1 and the applicant's Design Statement explains that, amongst the options considered in developing the final scheme, buildings on the southern part of the site or areas at risk of flooding were discounted. This approach is supported by, and consistent with, the requirements of national policy which advises that applications should demonstrate that "*within the site, the most vulnerable development is located in areas of lowest flood risk, unless there are overriding reasons to prefer a different location*". Given the discussion above, there are not considered to be overriding reasons in this case. Improvement of the schools facilities could not realistically be achieved by providing development anywhere other than within the boundary of the existing School.
- 6.33 The Environment Agency was consulted on the application. No objection was raised but the EA recommended conditions to ensure no adverse groundwater impacts.
- 6.34 The application was supported by a Drainage Impact Assessment which considers the potential drainage solutions for the site and proposes a system of infiltration using a new soakaway. The County Council – as the Lead Local Flood Authority – has reviewed this information and considers it to be sufficient to support the scheme subject to conditions to secure the detail at a later date.
- 6.35 Based on the above and subject to conditions, the proposals comply with policy Ut4 of the Local Plan and CS10 of the Core Strategy.

Community Infrastructure Levy (CIL) and requested contributions

- 6.36 The proposal, being for a new school, falls outside of the uses which attract a charge based on the Council's adopted Charging Schedule and as such the development would not be liable to pay CIL.
- 6.37 Community Infrastructure Levy (CIL) Regulations were introduced in April 2010 which states that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development. As such only contributions, works or other obligations that are directly required as a consequence of development can be requested and such requests must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on.
- 6.38 In this case, no such contributions or requirements have been requested.

Trees and landscaping

- 6.39 The wider school site has relatively significant tree cover, particularly along the boundary with the railway line and the area of woodland around the Brook in the southern reaches of the site. With respect to the current application, the most sensitive potential arboricultural implications relate to the protected trees along the western boundary of the site with the adjoining flats at St Anne's Rise.
- 6.40 The application was supported by a Tree Survey and Arboricultural Impact Assessment which shows the implications of the development for trees and tree cover and the site and the tree protection measures to be put in place. This has been reviewed by the Council's Tree Officer who concludes that "*the tree losses are considered to be relatively minor in respect of the development*" and that "*none of the trees lost would result in any significant or long lasting adverse affect on the existing landscape*". The Tree Officer notes that the protection measures and method statements in the current submission generally meet the Council's requirements; however, as the routing of services has not been confirmed at this stage, it is prudent to require a finalise TPP and AMS to be submitted prior to commencement to avoid any currently unanticipated impacts on retained trees.
- 6.41 The response from the Tree Officer also notes that there would be opportunities to include replacement tree planting to mitigate any losses. The application was supported by a Landscape Planning Statement which provides sufficient detail of the proposed hard and soft landscaping strategy for the site, including specifying materials, furniture, plant species, sizes and density which would be used. This is considered adequate and a condition requiring the landscaping associated with each phase to be completed prior to occupation of that phase is considered reasonable.

- 6.42 Based on the above, it is considered that – subject to conditions – the effect of the development on existing tree cover and local landscape character would be acceptable. It therefore complies with policies Pc4 and Cf2 on this issue.

Other matters

- 6.43 The application was supported by numerous ecological reports including a Preliminary Ecological Appraisal, Ecological Impact Assessment and dedicated Bat and Great Crested Newt Surveys. Although the site itself is not subject to any specific nature conservation designations, it is located close to the Holmethorpe Sandpits Complex Site of Nature Conservation Importance; the Preliminary Ecological Appraisal submitted with the application concludes that, given the site is screened from the SNCI by the tree lined embankments and given the existing noise levels along the railway; works on the site are unlikely to disturb qualifying wintering bird species of the SNCI. A supplemental Great Crested Newt (GCN) survey was also undertaken given the original PEA identified a potential (albeit low) risk of GCNs on site. The survey identified a likely absence of Great Crested Newts within the ponds/waterbodies on site and therefore that the proposal is unlikely to give rise to any impacts. Bat Surveys were also undertaken (as recommended by the original PEA); these identified a common pipistrelle bat roost within a section of one of the buildings to be demolished but concludes that the roost is of low conservation value at the local level and recommends mitigation measures (bat boxes be implemented within the site). The Ecological Impact Assessment includes detailed and extensive recommendations in terms of working practices and general mitigation measures; a condition requiring compliance with these is recommended. Based on the information submitted, it is considered that the ecological impacts of the proposal have been adequately appraised and, subject to conditions, can be appropriately mitigated such that it would not have an unacceptable adverse impact on overall biodiversity value of the site or on protected species. As such, the proposal is considered to comply with Pc2C and Pc2G of the Local Plan 2005, CS2 of the Core Strategy and relevant legislation. Surrey Wildlife Trust was consulted on the application and raised no objection subject to compliance with the measures in the Ecological Impact Assessment.
- 6.44 The application was supported by an Energy Statement which sets out the building has been designed to follow a “Be Lean” approach and would implement a range of passive and active energy efficiency measures to reduce energy demand and achieve efficiency. In accordance with Policy CS11 of the Core Strategy, the development will be required to meet BREEAM ‘Very Good’ standard and a condition to this effect is recommended.
- 6.45 Concerns have been raised in relation to crime and health. In respect of crime, some representations argue that the proposals may encourage bullying and anti-social behaviour; in this regard, the applicant’s Design & Access Statement explains that these issues have taken into account when designing the layout by reducing ‘dead areas’ or unsupervised areas where bullying can take place, providing generous circulation space and generally improved facilities such as WCs. Whilst the concerns of residents in this respect are acknowledged, on balance, the rationalised footprint of the building, increased areas of open, uninterrupted communal space and generally improved facilities are considered to be a step

forward compared to the existing situation (as the applicant's submission suggests) in terms of minimising opportunity for poor behaviour. Policies and monitoring/management of pupil behaviour – including anti-social behaviour – would be a matter for the school, assisted as appropriate by local policing. With regard to health, whilst the specific concerns made in relation to the impacts on particular neighbours who are experiencing ill health, as above, it is not considered that the proposals would give rise to unacceptable amenity impacts.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Site Layout Plan	27700_T	0	30.07.2018
Site Layout Plan	27700_T(1)	0	30.07.2018
Site Layout Plan	27700_T(2)	0	30.07.2018
Site Layout Plan	27700_T(3)	0	30.07.2018
Site Layout Plan	27700_T(4)	0	30.07.2018
Site Layout Plan	12564D_UG 1		30.07.2018
Site Layout Plan	12564D_UG 2		30.07.2018
Site Layout Plan	12564D_UG 3		30.07.2018
Site Layout Plan	12564D_UG 4		30.07.2018
Site Layout Plan	12564D_UG 5		30.07.2018
Site Layout Plan	125268-LLB-ZZ-ZZ-DR-L-4014	P02	30.07.2018
Site Layout Plan	125268-LLB-ZZ-ZZ-DR-L-4013	P02	30.07.2018
Site Layout Plan	125268-LLB-ZZ-ZZ-DR-L-4012	P03	30.07.2018
Site Layout Plan	125268-LLB-ZZ-ZZ-DR-L-4011	P03	30.07.2018
Location Plan	UNNUMBERED		30.07.2018
Section Plan	125268-LLB-XX-XX-DR-L-3002	P04	30.07.2018
Section Plan	125268-LLB-XX-XX-DR-L-3003	P03	30.07.2018
Block Plan	125268-LLB-ZZ-XX-DR-L-4017	P01	30.07.2018
Floor Plan	WRK-SS-ZZ-LF-DR-B-102	S1	30.07.2018
Section Plan	125268-LLB-XX-XX-DR-L-3001	P04	30.07.2018
Block Plan	WRK-SS-ZZ-LF-DR-B-201	S1	30.07.2018
Floor Plan	125286-LEP-WS-01-M2-A-0305	C02	02.08.2018
Floor Plan	125286-LEP-WS-02-M2-A-0302	C02	02.08.2018
Floor Plan	125286-LEP-WS-01-M2-A-0301	C02	02.08.2018
Floor Plan	125286-LEP-WS-00-M2-A-0304	C02	02.08.2018
Elevation Plan	125286-LEP-WS-XX-M2-A-0200	C2	02.08.2018
Floor Plan	125286-LEP-WS-00-M2-A-0300	C02	02.08.2018
Other Plan	08423-LEP-WS-ZZ-M2-A-0253	C02	02.08.2018
Other Plan	08423-LEP-WS-ZZ-M2-A-0250	C02	02.08.2018
Other Plan	08423-LEP-WS-ZZ-M2-A-0252	C02	02.08.2018
Other Plan	08423-LEP-WS-ZZ-M2-A-0251	C02	02.08.2018
Floor Plan	WRK-SS-ZZ-ZZ-DR-B-101	S1	30.07.2018
Other Plan	WRK-SS-ZZ-ZZ-DR-B-103	S1	30.07.2018
Site Layout Plan	125268-LLB-ZZ-XX-DR-L-4001	P06	30.07.2018
Elevation Plan	125286-LEP-WS-ZZ-M2-A-0320	C04	02.08.2018

Roof Plan	125286-LEP-WS-02-M2-A-0306	C04	02.08.2018
Roof Plan	125286-LEP-WS-03-M2-A-0303	C04	02.08.2018
Elevation Plan	125286-LEP-WS-ZZ-M2-A-0322	C04	02.08.2018
Elevation Plan	125286-LEP-WS-ZZ-M2-A-0321	C04	02.08.2018
Other Plan	125268-LLB-ZZ-ZZ-DR-L-4018	P01	27.09.2018
Site Layout Plan	125268-LLB-ZZ-XX-DR-L-4002	P05	27.09.2018
Section Plan	125268-LLB-XX-XX-DR-L-3004	P05	27.09.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development on a given phase, including demolition or any groundworks preparation, shall commence until a detailed, scaled Tree Protection Plan (TPP) and the related finalised Arboricultural Method Statement (AMS) for that phase is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre commencement meeting, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Cf2 of the Reigate and Banstead Borough Local Plan.

4. No development on a given phase shall commence until a finalised Construction Transport Management Plan has been submitted to and approved in writing by the Local Planning Authority. The final plan shall include details of:
 - (a) parking and turning for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) provision of boundary hoarding behind any visibility zones
 - (e) construction vehicle routing to and from the site
 - (f) on-site turning for construction vehicles

(g) measures to prevent the deposit of materials on the highway
(h) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.

5. No development, except demolition, shall commence on a given phase until a detailed remediation method statement for that phase of works has been submitted to and approved in writing by the Local Planning Authority. Such a statement should be in accordance with The Warwick School Scope of Ground Investigation (dated 8th May 2018 Ref TETDm-12908-030518-Gibreif-F1), Geo-Environmental Desk Study (June 2015 by Mott Macdonald), Factual Report on Phase 2 Geo-Environmental Site Investigation (dated September 2017 ref 3453913917_01 by Arcadis) and Interpretative Site Assessment Report (dated September 2017 ref 3453913925 by Arcadis) and should detail the extent and method(s) by which the site is to be remediated, the information to be included in a validation report and any additional requirements which the Local Planning Authority may specify.

The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of the approved remediation works.

Reason:

To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to policy CS10 of the Reigate and Banstead Core Strategy 2014 and the NPPF.

6. No above ground construction or superstructure works shall take place until the detailed design of the surface water drainage system for the site has been submitted to and approved in writing by the Local Planning Authority. This shall include:
- (a) A design that satisfies the SuDS hierarchy and that is compliant with the national non-statutory technical standards for SuDS, NPPF and Ministerial Statement on SuDS
 - (b) Results of infiltration testing carried out in accordance with BRE Digest 365
 - (c) Evidence that the proposed solution will effectively manage the 1 in 30 & 1 in 100 (+CC% allowance) for climate change storm events, during all stages of the development (pre, post and during). If infiltration is deemed unfeasible then an alternative discharge strategy will need to be provided, discharging to a watercourse using a discharge rate of Greenfield Qbar
 - (d) Evidence that any proposed infiltration will not give rise to unacceptable risk to Controlled Waters
 - (e) Detailed drawings showing the finalised drainage layout with location of drainage elements, pipe diameters, levels, and long or cross sections of each drainage element including any flow restrictions and maintenance/risk reducing features (e.g. silt traps, inspection chambers, etc.)

(f) Details of how the system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the system is operational

(g) A plan showing exceedance flows (i.e. during rainfall greater than design events or during blockage) and how property on and off site will be protected.

Only the approved details shall be implemented during the construction of the development.

Reason:

To ensure that the SuDS are adequately planned, delivered and maintained and that the development is served by an adequate and approved means of drainage to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Core Strategy 2014 and the requirements of non-statutory technical standards.

7. No above ground construction or superstructure works on the buildings hereby approved shall take place until evidence that the development is registered with a BREEAM certification body and a pre-assessment report (or design stage certificate) indicating that the development can achieve a 'Very Good' rating has been submitted to and approved in writing by the Local Planning Authority.

Reason:

To ensure that the development is constructed to appropriate sustainability standards with regard to Policy CS11 of the Reigate and Banstead Core Strategy 2014.

8. The development shall be carried out in strict accordance with the ground levels and finished floor levels specified on the approved drawings and within the Landscape Planning Statement (by Kier Construction dated 16 July 2018). There shall be no variation to these approved levels, or to any site levels outside of the areas specified in the Landscape Planning Statement, without the prior consent in writing of the Local Planning Authority.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Cf2.

9. The development shall be carried out in strict accordance with the recommendations, avoidance and mitigation measures identified in the Ecological Impact Assessment (by Lloyd Bore Ltd reference 125268-LLB-RP-EC-0003-S3-P02 dated 02/10/2018) in respect of construction working methods, ecological enhancement and provision of replacement or alternative habitat.

Reason:

In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G.

10. The teaching block and Sports Hall hereby approved shall be constructed in accordance with the recommendations, principles and sound insulation specification

set out in the Acoustic Strategy Report (ref: PC-18-0130-RP2RevA) by Pace Consult Ltd.

Reason:

In order to ensure the buildings are appropriately constructed to provide an appropriate internal environment and to minimise the break out of noise with regard to policy Cf2 of the Reigate and Banstead Borough Local Plan 2005.

11. The development hereby approved shall be carried out in strict accordance with the external facing materials and details specified on the approved plans except that the Ice Blue cladding shall be installed on the Sports Hall and the Wedgewood Blue shall be installed on the teaching block. There shall be no variation in the above without the prior consent in writing of the Local Planning Authority.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policy Cf2.

12. The teaching block hereby approved shall not be first occupied unless and until a final School Travel Plan through MODESHIFT STARS has been submitted to and approved in writing by the Local Planning Authority. Such a statement should be in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, Surrey County Council's "Travel Plans Good Practice Guide" and in general accordance with the Robert West School Travel Plan document numbered 4662/005/002.

The approved Travel Plan shall be implemented upon occupation of the teaching block and thereafter the Travel Plan shall be maintained and developed through STARS to the satisfaction of the Local Planning Authority.

Reason:

To ensure that the development would promote sustainable transport choices with regard to Policy CS17 of the Reigate and Banstead Core Strategy 2014 and in recognition of Section 9 "Promoting Sustainable Transport" in the National Planning Policy Framework

13. Prior to the occupation of a given phase, or within the first planting season following its occupation, all hard and soft landscaping associated with that phase shall be completed in accordance with the details in the Landscape Planning Statement.

In respect of the Sports Hall building, this shall also include the planting of 3 No. Acer Campestre 'Streetwise' trees along the northern boundary as specified on approved drawing 125268-LLB-ZZ-XX-DR-L-4002 P05. These trees shall have an initial planting height of not less than 3.0m.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to design, demolition and construction-Recommendations.

Any trees, shrubs, plants or turf planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4 and Cf2 of the Reigate and Banstead Borough Local Plan 2005.

14. Prior to the occupation of a given phase, a verification report carried out by a qualified drainage engineer and demonstrating that the sustainable urban drainage system has been constructed as per the agreed scheme shall be submitted to and approved by the Local Planning Authority.

Reason:

To ensure that the SuDS are adequately planned, delivered and maintained and that the development is served by an adequate and approved means of drainage to comply with Policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, Policy CS10 of the Core Strategy 2014 and the requirements of non-statutory technical standards.

15. Prior to the occupation of each phase, details of any plant or machinery, including fume extraction, ventilation and air conditioning, which may be required on that phase by reason of granting this permission, shall be submitted to the Local Planning Authority.

Any extraction equipment installed to the teaching block shall be designed to accord with the broad principles and parameters set out in the Ventilation Extraction Statement by Van Zyl & de Villiers Consulting Engineers (dated 20/07/2018).

Any plant, machinery or other extraction and ventilation equipment installed on the buildings shall be maintained thereafter in accordance with the approved details and any manufacturer's recommendations.

Reason:

To ensure that a satisfactory external appearance is achieved of the development and to safeguard the amenities of neighbouring occupiers with regard to Reigate and Banstead Borough Local Plan 2005 policy Cf2.

16. Prior to the occupation of each phase, a scheme for any external lighting associated with that phase, to be installed shall be submitted to the Local Planning Authority. Such a scheme shall accord with the broad principles set out in the External Lighting Report by Van Zyl & de Villiers Consulting Engineers (dated 20/07/2018).

Reason:

To ensure that a satisfactory external appearance is achieved of the development and to safeguard the amenities of neighbouring occupiers with regard to Reigate and Banstead Borough Local Plan 2005 policy Cf2.

17. Prior to the occupation of each phase, a remediation validation report for the phase shall be submitted to and approved in writing by the Local Planning Authority. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of

such systems should be in accordance with CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases'.

Reason:

To demonstrate the effectiveness of remediation works and demonstrate that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Local Plan 2005 Policy and the NPPF.

18. Contamination not previously identified by the site investigation, but subsequently found to be present at the site, shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary by the Local Planning Authority, development shall cease on site until an addendum to the remediation method statement detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Reason:

To ensure that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the NPPF.

19. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express consent of the Local Planning Authority which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with any approved details.

Reason:

To ensure that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Policy CS10 of the Reigate and Banstead Core Strategy 2014 and the NPPF.

20. The Sports Hall hereby approved shall only be used between the hours of 7am and 10pm Mondays to Fridays, 9am and 10pm on Saturdays and 9am and 6pm on Sundays.

In accordance with the Acoustic Strategy Report (ref PC-18-0130-RP2RevA), all external doors to the Sports Hall shall remain closed during use of the Sports Hall, except in the event of an emergency.

Reason:

To manage the intensity and timing of use in order to safeguard the amenities of neighbours with regard to policy Cf2 of the Reigate and Banstead Borough Local Plan 2005.

21. Within six months of the occupation of the teaching block hereby approved, facilities for the secure, accessible and covered cycle parking for a minimum of 115 bicycles shall be provided on-site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Thereafter, the cycling parking shall be provided, retained and maintained in perpetuity in accordance with the approved details to the satisfaction of the Local Planning Authority.

Reason:

To ensure that the development would promote sustainable transport choices with regard to Policy CS17 of the Reigate and Banstead Core Strategy 2014 and in recognition of Section 9 "Promoting Sustainable Transport" in the National Planning Policy Framework.

22. Within six months of the occupation of the teaching block hereby approved, the revised car parking and turning area shall be laid out within the site in accordance with the approved plans numbered (125268 LLB ZZ L 4018 Rev P01 and 4002 Rev P05) to provide for 73 vehicle parking spaces and for vehicles to turn so that they may enter and leave the site in forward gear.

Thereafter the parking/turning areas shall be retained and maintained for their designated purpose.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5, Mo6 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF.

23. Within six months of the occupation of the teaching block hereby approved, a final certificate demonstrating that BREEAM 'Very Good' rating is achieved for this development shall be submitted to and approved by the Local Planning Authority.

Reason:

To ensure that the development is constructed to appropriate sustainability standards with regard to Policy CS11 of the Reigate and Banstead Core Strategy 2014.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development as part of meeting the BREEAM Very Good standard in order to reduce greenhouse gas emissions.
3. The school is reminded that the travel plan should be submitted through MODESHIFT STARS through the following link <https://modeshiftstars.org>.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;

- (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
- (c) Deliveries should only be received within the hours detailed in (a) above;
- (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsters and wheel washes;
- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

- 5. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
- 6. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice.
- 7. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge to form or modify a vehicle crossover or to install dropped kerbs. Please see: www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs.
- 8. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any

expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

9. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
10. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
11. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and shrubs shall be in keeping with the character and appearance of the locality and shall have a strong native or indigenous influence, suitable and appropriate cultivars of native species will be acceptable. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity, biodiversity, wildlife habitat and long term continued structural tree cover in this locality. It is expected that the replacement structural landscape trees will be of semi Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
12. The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.

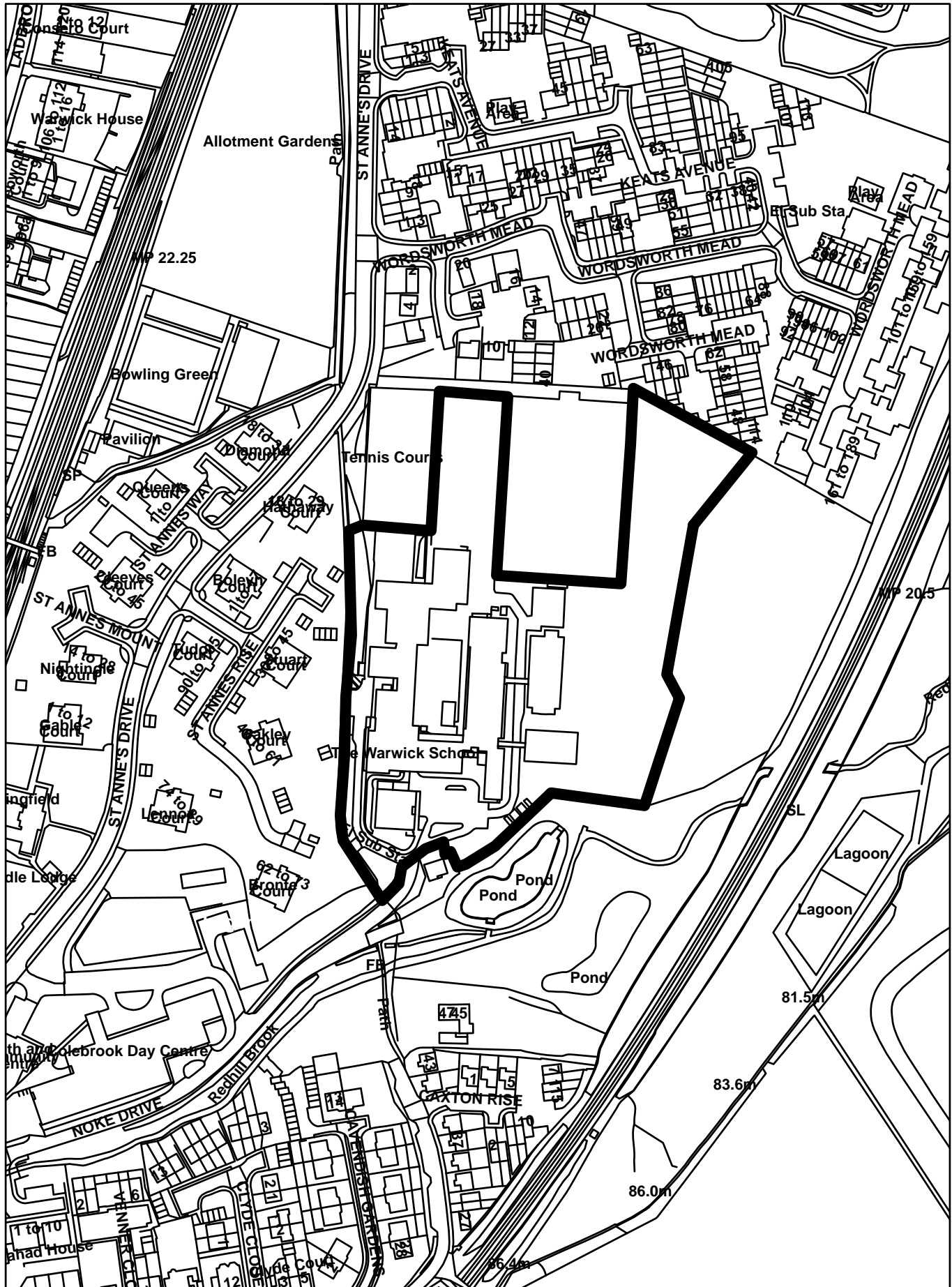
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS3, CS4, CS5, CS8, CS10, CS11, CS12, CS17, Pc2C, Pc2G, Pc4, Pc8, Co1, Cf1, Cf2, Re11, Mo4, Mo5, Mo6, Mo7, Mo13 and Ut4 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/01637/F - The Warwick School, Noke Drive, Redhill



Key:

- 1
- Existing Playing Fields / Sports Pitches.
No works proposed to this area as part of
development.
- 2
- Existing All Weather Pitches, No works
proposed to this facility as part of
development.
- 3
- Existing MUGA / Games Court. No
works proposed to this facility as part of
development.
- 4
- Existing School Building retained.
- 5
- Existing School Pond and Woodland Ecology
Area. No works proposed in this area as part
of the development.
- 6
- Existing Caretakers House and Garden. Area
not included within scope of development.
- 7
- Proposed New Sports Hall Block.
- 8
- Proposed New Teaching Block.
- 9
- Existing Site Entrance Gates (No works
proposed).
- 10
- Existing Car Park. Area extended following
demolition of existing buildings to reprovide
64 car parking spaces.
- 11
- New Visitor and DDA car park providing 8
spaces and required vehicle turning.
- 12
- New Main Bin Store Enclosure with 1.8m high
timber palisade fence (30 sq.m), and drainage
and water provision.
- 13
- Secondary Bin Store with 1.8m high timber
palisade fence (17 sq.m), and drainage and
water provision.
- 14
- Existing External Canopy retained. Surfacing
to be replaced beneath.
- 15
- Brick Retaining Wall. Circa 3m high.
- 16
- Gabion Steps / Wall. 3 tiers 300mm high by
500mm deep.
- 17
- Areas of Reinstated Amenity Grassland.
Following demolition areas to be covered by
min 350mm subsoil, 150mm topsoil and turf.
- 18
- New Pedestrian Access Gate. 1.8m high
manual weld mesh gate.
- 19
- New Vehicle Access Gate. 1.8m high manual
weld mesh gate.
- 20
- New 1.8m high secure meld mesh fence.
- 21
- New Pedestrian Crossing.
- 22
- New External Steps. To provide pedestrian
access from changing rooms to MUGA.
- 23
- Existing MUGA Pedestrian Gate moved to top
of new steps.
- 24
- Gabion Retaining Wall. Circa 1m high to allow
for a pedestrian access path along building
providing level access from Reception to
MUGA.
- 25
- Existing Pupil Access Gate retained. No works
proposed.
- 26
- Grass Reinforcement Mat.
- 27
- Existing Sub Station. Potential requirement for
minor upgrading of facilities subject to UKPN
consultation.
- 28
- 3 No. Proposed Acer campestria 'Streetwise'
planted adjacent to northern boundary
to provide screening of Sports Hall from
properties to north of site.



Legend:

- Site Boundary
- Development Area
*The proposal does not include any
proposed works outside of this highlighted
area other than standard remedial or
making good associated with construction
activities.*
- Ownership Boundary
- Existing Building Retained.
- Proposed Building
- Concrete Flag
Paving
- Vehicular Asphalt
- Pedestrian Asphalt
- Retaining Walls
- Gabion Steps / Wall
- Existing External
Canopy
- Bin Store (Timber
Palisade Enclosure)
- Existing Cycle
Shelters
- Amenity Grass
- Shrub Planting
- Existing Tree
Retained
- Proposed Tree

10/09/18	P02 - Additional trees added to northern boundary	AC
03/09/18	P04 - Trees repositioned, and updated to CP status	SH
22/08/18	P03 - Secure fence line completed, gabion walls removed	SH
12/07/18	P02 - Scale changed to 1:500 for planning	AC
Revision: Date	Revision: Description	Issued By

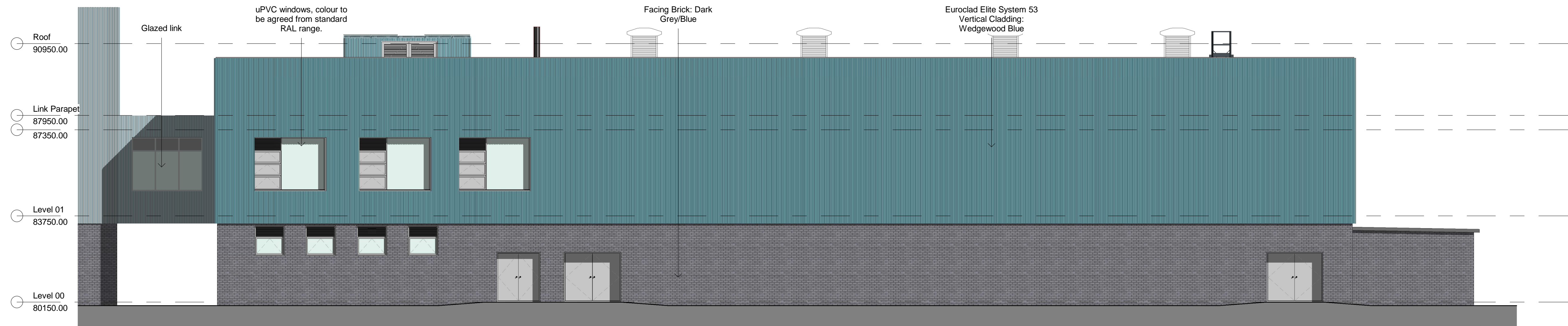
Discipline: **Lloyd Bore Ltd - Landscape Architect**

Project:
The Warwick School
Noke Drive, Redhill, RH1 4AD

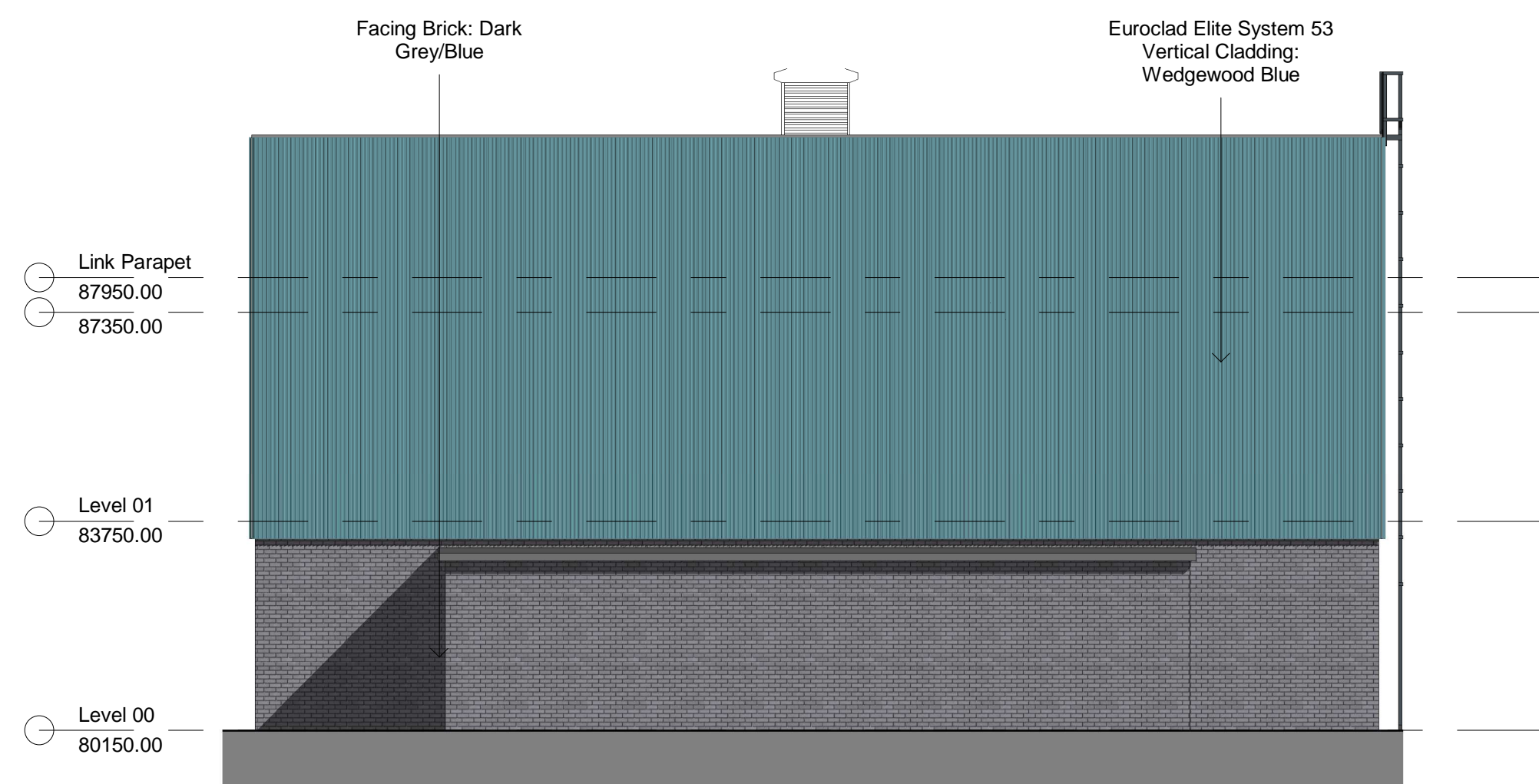
Drawing:
Annotated Site Plan

Drawing Number			Revision	
125268-LLB-ZZ-XX-DR-L-4002			P05	
Scale(s)	First Issued	Size	Drawn	Chkd
1:500	04/06/18	A0	AC	SH

CONTRACTORS PROPOSALS



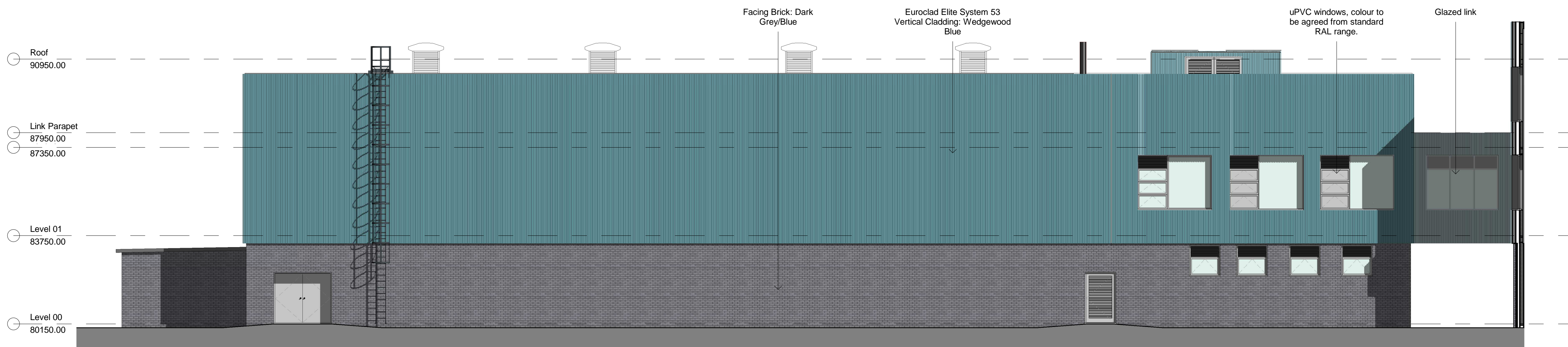
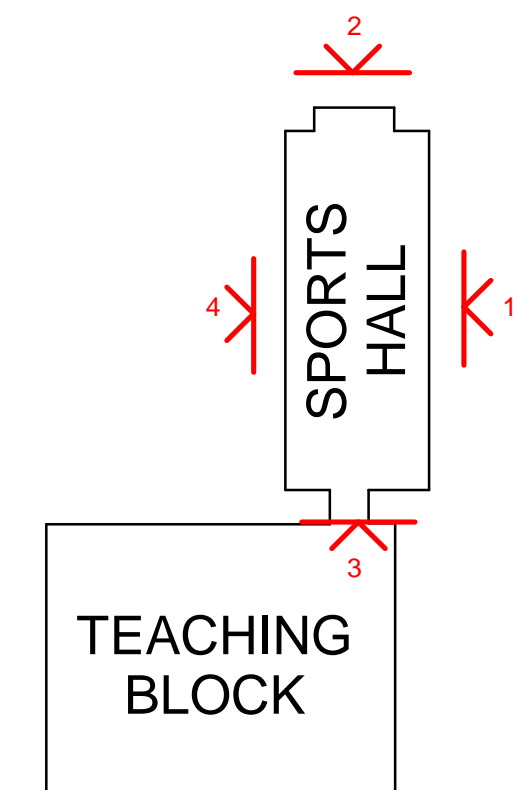
1 East Sports Hall
1 : 100



2 North Sports Hall
1 : 100



3 South Sports Hall
1 : 100



4 West Sports Hall
1 : 100



Project Name _____

The Warwick School

Client _____

Kier Construction - Guildford Office

Date of Issue _____ Day _____ Month _____ Year _____

01/08/2018 MHY MH

Drawing Title _____

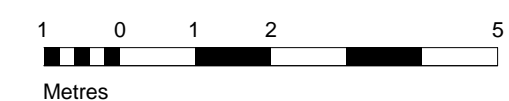
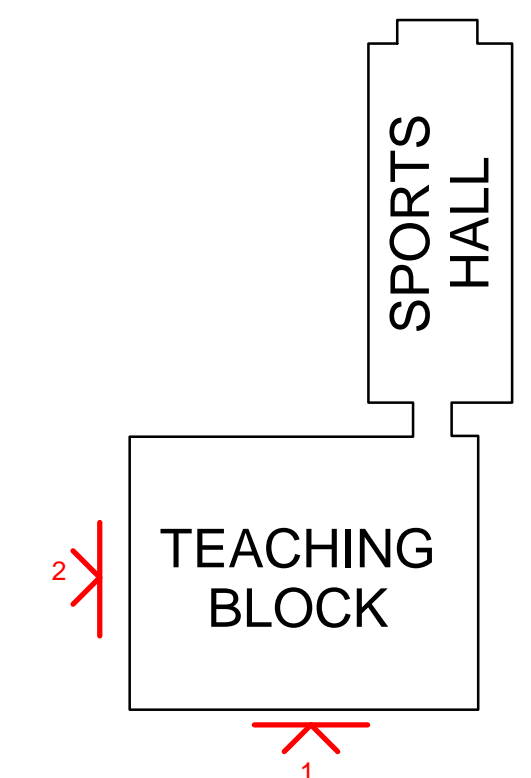
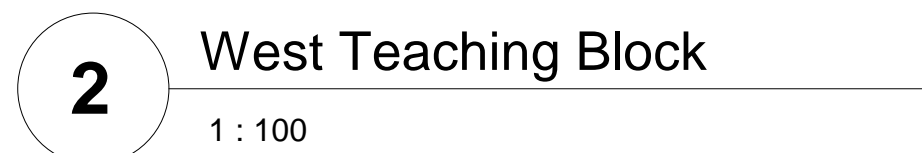
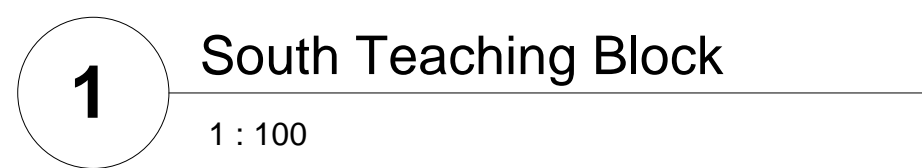
Sports Hall Elevations

Issue Status _____ Scale _____

PLANNING As A1

Drawing number _____ indicated @ _____ rev. _____

152586-LEP-WS-ZZ-M2-A-0322 C0



Project Name _____

The Warwick School

Client _____

Kier Construction - Guildford Office

Date of Issue _____ Dm + Ckd _____

01/08/2018 MHY MH

Drawing Title _____

Teaching Block Elevations Sheet 2

Issue Status _____ Scale _____

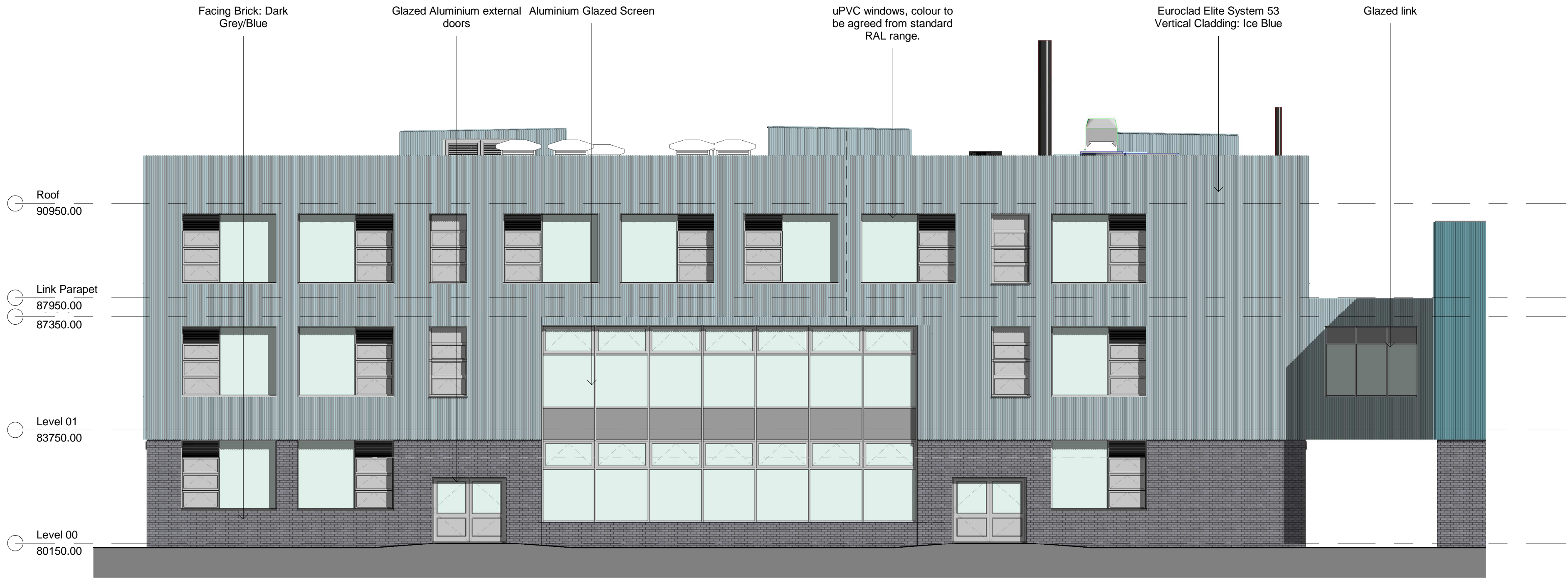
PLANNING As A1

Drawing number _____ indicated @ rev. _____

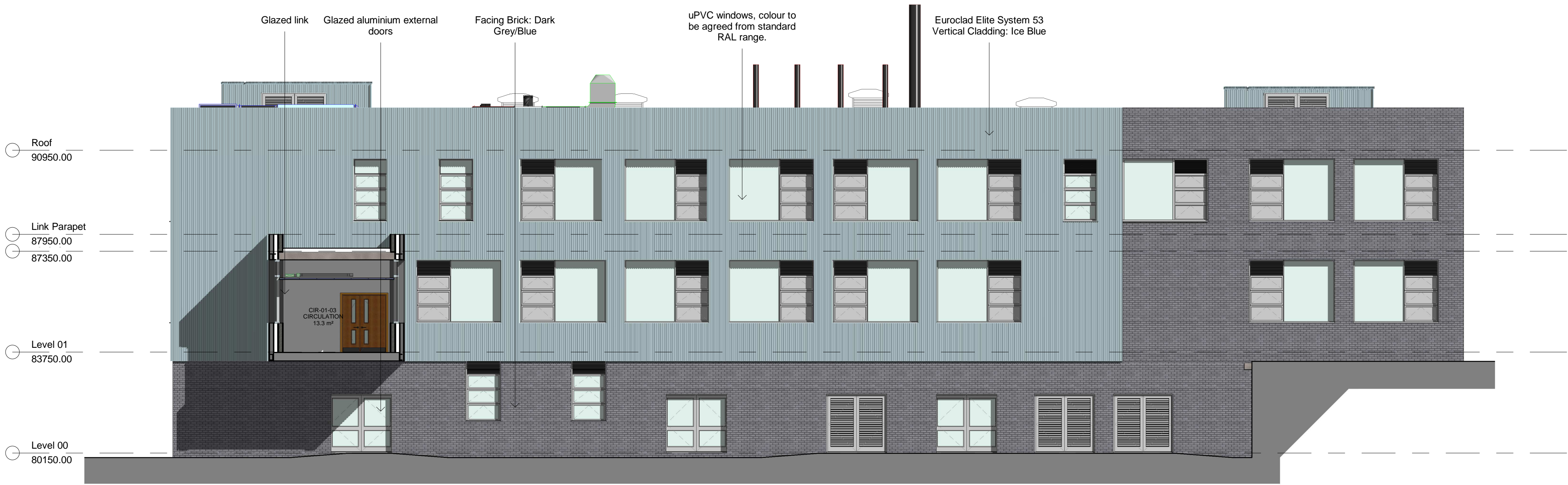
152586-LEP-WS-ZZ-M2-A-0321 CO

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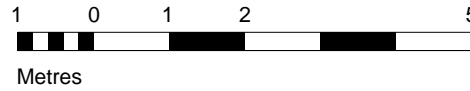
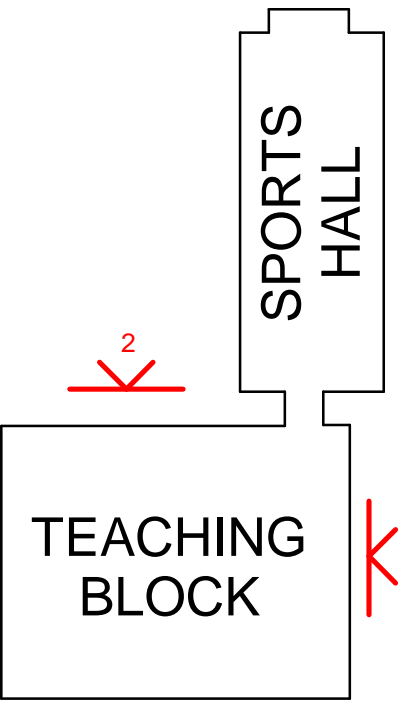
No.	Date	DRN	CHK	Description
P01	01.06.18	MHY	MH	DRAFT ITT ISSUE
P02	06.06.18	MHY	MH	ITT ISSUE
C02	20.07.18	HH	MH	PLANNING
C03	28.07.18	HH	MH	REVISED PLANNING ISSUE
C04	01.08.18	HH	MH	REVISED PLANNING ISSUE



1 East Teaching Block
1 : 100



2 North Teaching Block
1 : 100



KIER
Education & Skills
Funding Agency
chartered architects
and planning consultants

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lee evans
partnership

Project Name
The Warwick School

Client
Kier Construction - Guildford Office

Date of Issue
01/08/2018

Drawing Title
Teaching Block Elevations Sheet 1

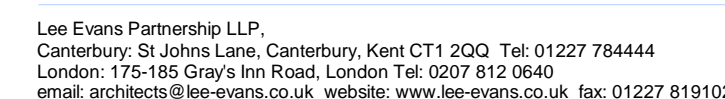
Issue Status
PLANNING

Drawing number
125286-LEP-WS-ZZ-M2-A-0320

Scale
As A1

rev.
indicated@

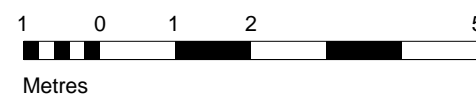
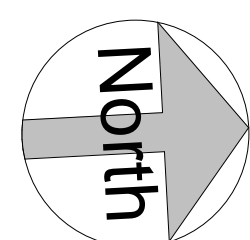
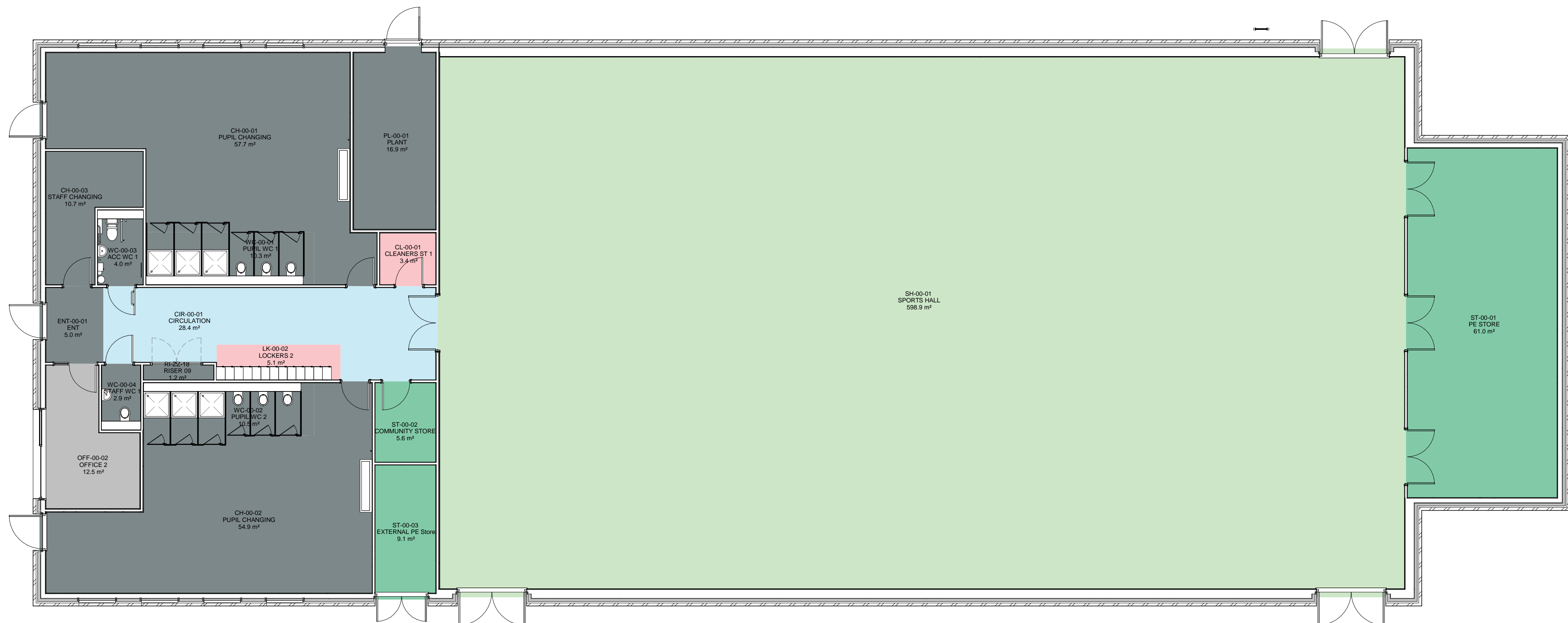
C04



Client _____
Kier Construction - Guilford Office
 Date of Issue _____ Drn + Ckd _____
20/07/2018 **MHY MH**

125286-LEP-WS-01-M2-A-0305 CO



[illegible]

chartered architects
and planning consultants

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Canterbury: St Johns Lane, Canterbury, Kent CT1 2QQ Tel: 01227 784444
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email: architects@lee-evans.co.uk website: www.lee-evans.co.uk fax: 01227 819102



Project Name

The Warwick School

Client _____

Kier Construction - Guilford Office

20/07/2018 MHY MH

Ground Floor Sports Hall

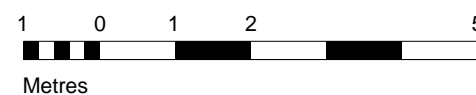
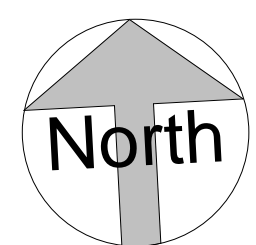
Issue Status _____ Scale

PLANNING 1 : 100@ A1

125286-LEP-WS-00-M2-A-0304 C02

The floor plan illustrates a school building layout with the following key areas and rooms:

- Classrooms (CLA-01-01 to CLA-01-08):** Eight orange-colored classrooms, each 56.8 m².
- Offices (OFF-01-01 to OFF-01-05):** Five grey-colored offices, including a General Office (35.1 m²), a PA Office (8.0 m²), and a Head Office (17.3 m²).
- Circulation (CIR-01-01 to CIR-01-08):** Eight blue-colored circulation areas, including a large central hall (89.0 m²) and a drama ceiling void.
- Storage (ST-01-01 to ST-01-08):** Eight red-colored storage areas, including a class store (3.2 m²) and a library store (3.0 m²).
- Specialized Rooms:**
 - Library (LIB-01-01):** 141.2 m²
 - Server Room (SRV-01-01):** 14.8 m²
 - Kitchenette (KIT-01-01):** 3.5 m²
 - Hygiene Room (HYG-01-01):** 12.0 m²
 - Reproduction Room (REP-01-01):** 10.6 m²
 - Control Room (CT-01-01):** 6.4 m²
 - Interview Room (ADM-01-02):** 9.7 m²
 - Entrance (ENT-01-01):** 19.5 m²
 - Archives Store (ARC-01-01):** 8.0 m²
 - WCs (WC-01-01 to WC-01-04):** Four restrooms, including a toilet (41.1 m²) and a WC (6.2 m²).
 - Lockers (LK-01-01 to LK-01-07):** Seven locker areas, including a large locker (6.1 m²) and a small locker (1.2 m²).
 - Risers (RI-ZZ-01 to RI-ZZ-10):** Ten riser areas, including a large riser (1.9 m²) and a small riser (0.5 m²).
 - Stairwells (STR-01-01 to STR-01-03):** Three stairwell areas, including a large stairwell (36.2 m²) and a small stairwell (3.4 m²).
 - Void (VOID):** A large central void area.
 - DRAMA CEILING VOID:** A void area under the drama ceiling.
 - VOID:** A void area in the library.



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email: architects@lee-evans.co.uk website: www.lee-evans.co.uk fax: 01227 819102

Project Name

The Warwick School

Client _____

Kier Construction - Guilford Office

Date of Issue _____ Dm + Ckd

20/07/2018

Drawing Title _____

First Floor Teaching Block

Issue Status _____ Scale

PLANNING 1:100@ A1

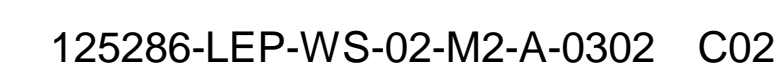
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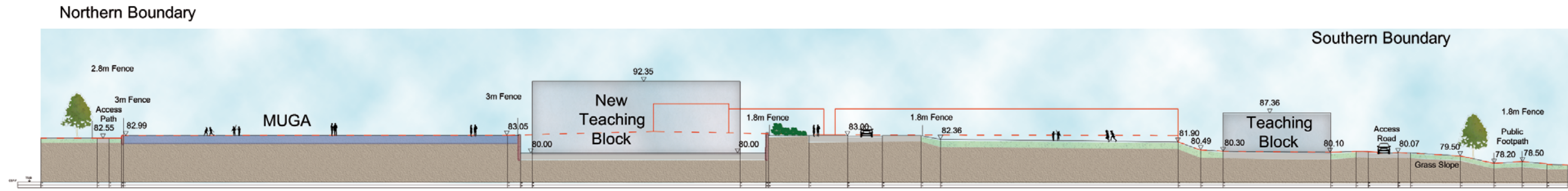
125286-LEP-WS-01-M2-A-0301 CO

The floor plan for the second floor (SCI-02) is divided into several main sections:

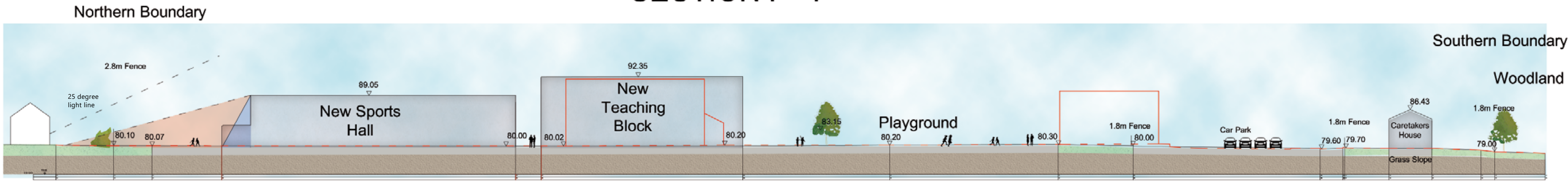
- Top Section:** Includes SCI-02-01 Science 1 (88.0 m²), OFF-02-03 Office Sen 1 (12.3 m²), STF-02-04 Staff Work (13.3 m²), WC-02-02 Acc WC (6.3 m²), CL-02-01 Cleaner's (4.0 m²), WC-02-01 Toilets 3 (12.3 m²), SCI-02-02 Science 2 (87.8 m²), ICT-02-02 ICT/Business (65.1 m²), SEN-02-06 Sen Large GRP (16.0 m²), STR-02-01 Stairwell 1 (28.3 m²), and STF-02-01 Staff Work 1 (28.4 m²).
- Left Section:** Includes SCI-02-06 Science 6 (83.0 m²), SCI-02-07 Science 7 (83.1 m²), and ST-02-06 General Store (7.3 m²).
- Central Section:** Features an **EXTERNAL WELL AREA** with two **ROOFLIGHT** areas, **External Maintenance Stor.**, and a central staircase. Surrounding rooms include SEN-02-04 Sen GRP 03 (8.9 m²), SEN-02-05 Sen GRP 04 (8.0 m²), ST-02-07 Sen Store (5.8 m²), ST-02-01 ICT Store (5.8 m²), CHE-02-01 Chem Store (7.2 m²), RI-ZZ-03 Wind Riser 03 (1.7 m²), RI-ZZ-05 Wind Riser 05 (1.7 m²), RI-ZZ-04 Wind Riser 04 (1.7 m²), RI-ZZ-06 Wind Riser 06 (1.7 m²), SEN-02-03 Sen GRP 02 (8.9 m²), SEN-02-02 Sen GRP 01 (8.9 m²), PRE-02-01 Science Prep (84.5 m²), and LK-02-01 Lockers 5 (14.3 m²).
- Right Section:** Includes ST-02-03 Teach Store 1 (3.1 m²), RI-ZZ-07 Wind Riser 07 (1.7 m²), RI-ZZ-01 Wind Riser 01 (1.7 m²), ST-02-05 Teach Store 3 (5.0 m²), SCI-02-03 Science 3 (83.1 m²), CIRC-02-02 Circulation (206.2 m²), SEN-02-01 Sen Res Room (19.3 m²), RI-ZZ-08 Wind Riser 08 (1.7 m²), RI-ZZ-09 Wind Riser 09 (1.7 m²), RI-ZZ-02 Wind Riser 02 (1.7 m²), ST-02-04 Teach Store 2 (3.3 m²), SCI-02-04 Science 4 (85.3 m²), and SCI-02-05 Science 5 (83.3 m²).
- Bottom Section:** Includes ICT-02-01 ICT Rich (70.3 m²), WK-02-01 ICT Work Room (14.4 m²), RI-ZZ-10 Wind Riser 10 (1.4 m²), LFT-02-01 Lift (3.0 m²), STR-02-02 Stairwell 2 (37.5 m²), CLA-02-01 Classroom 9 (59.6 m²), LK-02-02 Lockers (5.4 m²), and SCI-02-06 Science 6 (80.0 m²).

1 : 100

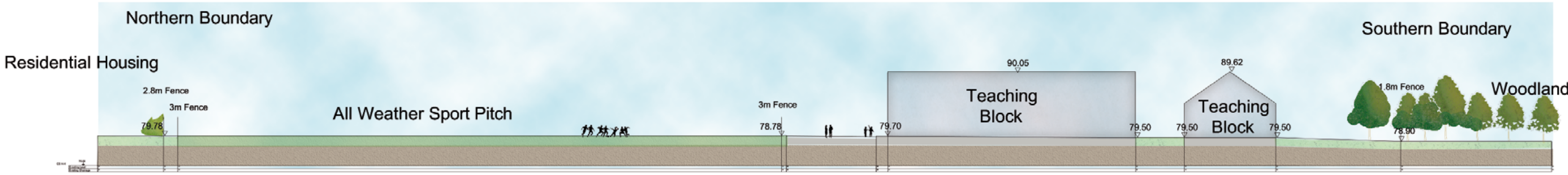




SECTION F - F

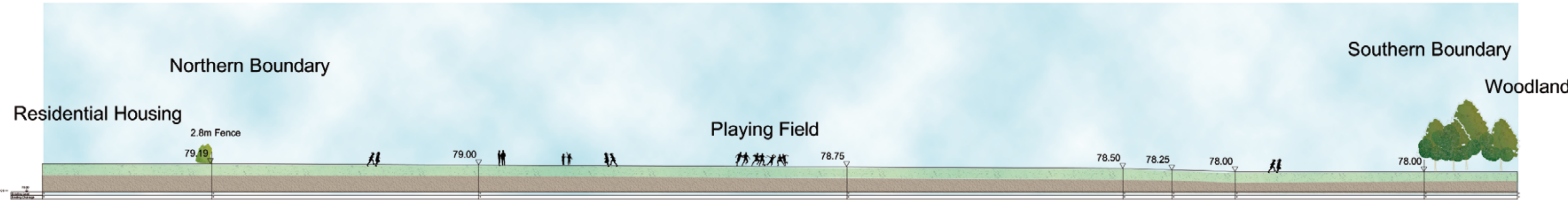


SECTION G - G



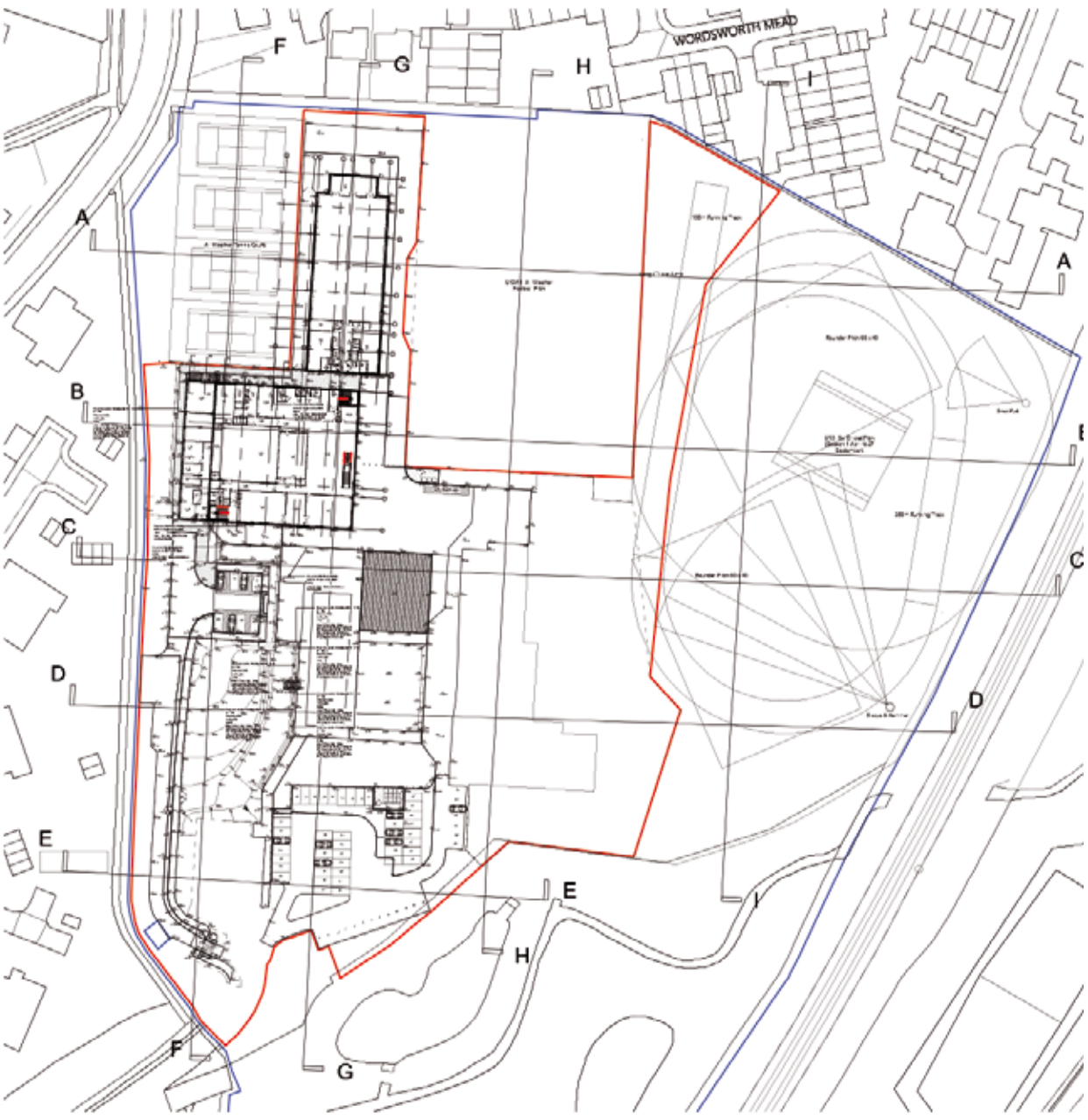
Note: No change to this section.

SECTION H - H



Note: No change to this section.

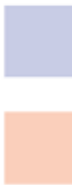
SECTION I - I



KEY PLAN

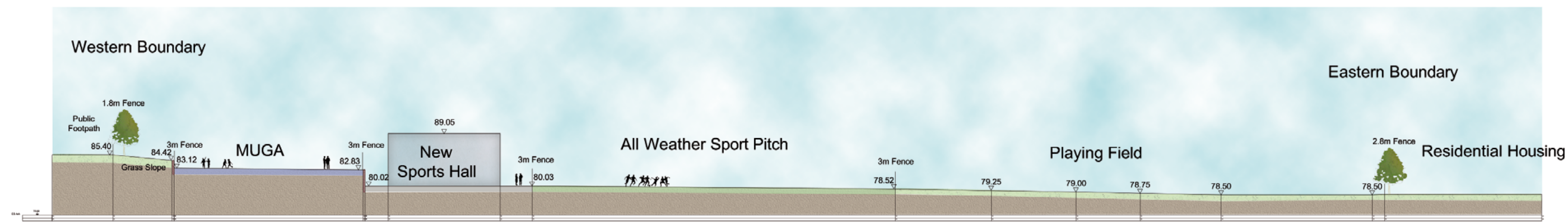
Legend

- Existing ground profile
- Existing Building to be demolished

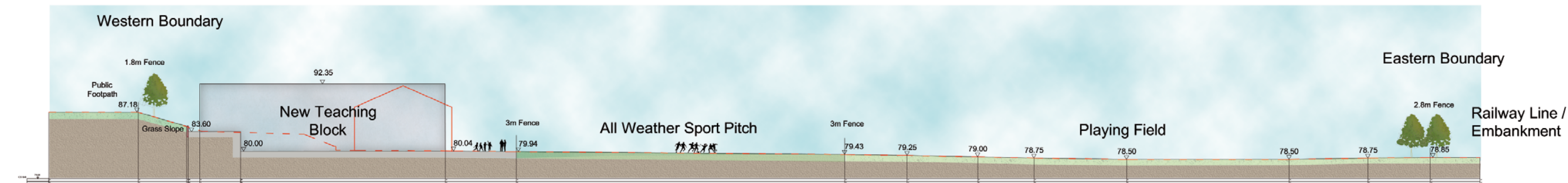


19/09/18	P05 - 25 degree light line added to section GG	AC
23/08/18	P04 - Section GG extended to include residential property	AC
12/07/18	P03 - Colour Added	AC
4/06/18	P02 - 1:250 scale bar added	AC
19/05/18	Scale changed to 1:250	AC
19/05/18	Project Name changed	AC
Rev Date:	Revision Description:	Issued By

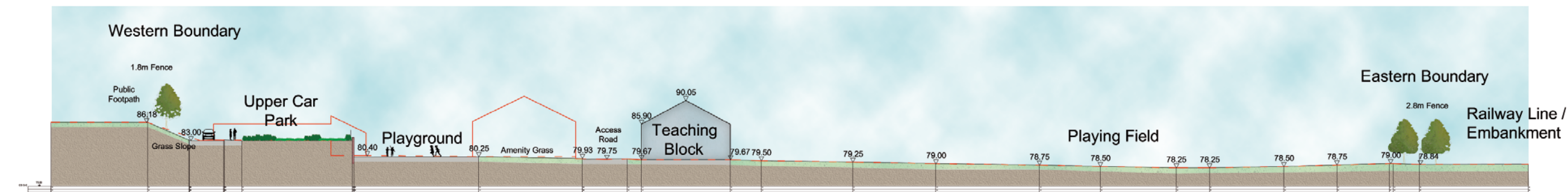
Discipline	Lloyd Bore Ltd - Landscape Architect
Project	Lloyd Bore Ltd - Landscape Architect
Client	The Warwick School
Address	Noke Drive, Redhill, RH1 4AD
Drawing	Indicative Site Sections
Sheet	Sheet 2 of 2
Proposed Site Sections	Proposed Site Sections
Drawing Number	125268-LLB-XX-XX-DR-L-3004
Revision	P05
Scale(s)	1:500@A1
First Issued	21/05/18
Size	A1
Drawn	AC
Chkd	AC
Status	PLANNING



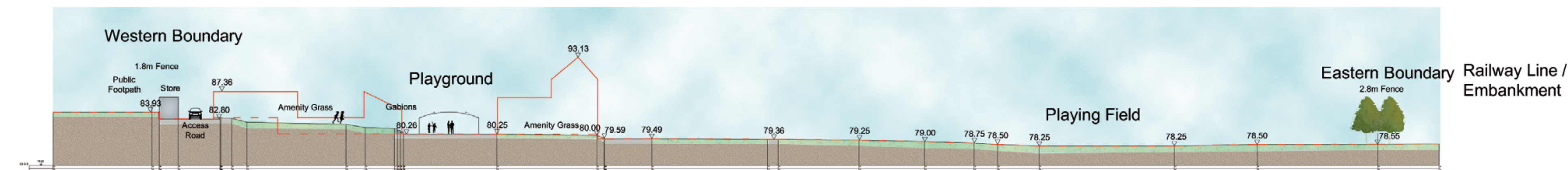
SECTION A - A



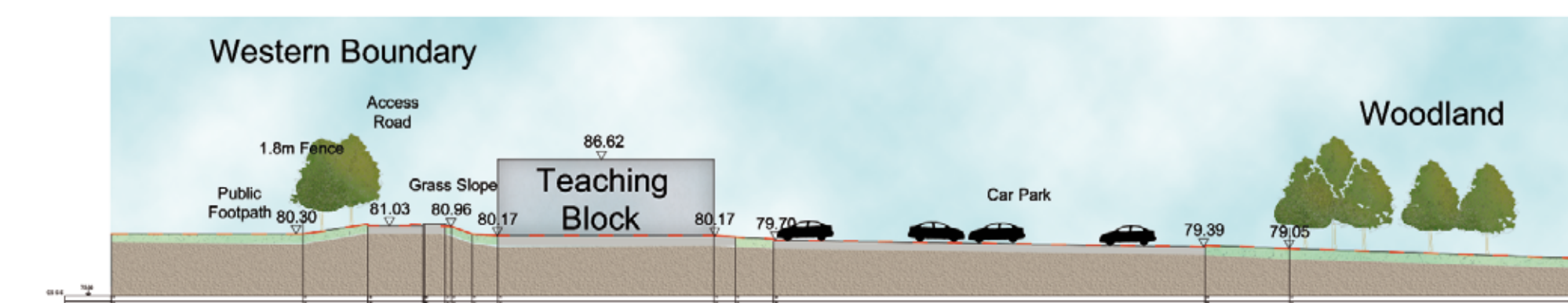
SECTION B - B



SECTION C - C



SECTION D - D



SECTION E - E

Note: No change to this section.



KEY PLAN

Legend

- Existing ground profile
- Existing Building to be demolished

12/07/18	P03 - Colour Added	AC
4/06/18	P02 - 1:250 scale bar added	AC
1/06/18	P01 - Initial version	AC
Revision	Date	Revision Description
		Issued By

Discipline: Lloyd Bore Ltd - Landscape Architect

Project: The Warwick School
Noke Drive, Redhill, RH1 4AD

Drawing: Indicative Site Sections
Sheet 1 of 2
Proposed Site Sections

Drawing Number			Revision	
125268-LLB-XX-XX-DR-L-3003			P03	
Scale(s)	First Issued	Size	Drawn	Chkd
1:500@A1	21/05/18	A1	AC	AC
1:250@A0				

Status: PLANNING